



OUTLINE INDICATIVE ONLY

**378 MANLY ROAD,  
MANLY WEST QLD 4179**



# INFORMATION MEMORANDUM

PREPARED BY RAY WHITE SPECIAL PROJECTS QLD  
JANUARY 2019



**Brisbane CBD**

**Gateway Motorway**

**Mayfair Village**

**7-Eleven Manly West**

**Butterfly Childcare**

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# THE OPPORTUNITY

Ray White Special Projects Qld are pleased to exclusively offer to the market, an approved residential development site located in the Brisbane Bayside suburb of Manly West.

Key features of the offering are summarised below:

- Land Area 1.6187\* Hectares
- 14km\* east of the Brisbane CBD and 3.2km\* to Manly Boat Harbour
- Development Permit for 36 Multiple Dwelling Units (32 x 3 brm & 4 x 4 brm townhomes) and 1 x Dwelling House (4 brm house)
- Development Permit for Reconfiguration of a (ROL) - 1 lot into 2
- Generously sized product designed by renowned architects Rothelowman
- All product with Double Lock Up Garage and large Private Space areas
- Designated Emerging Communities under Brisbane City Plan 2014
- Bus stop directly in front of site and located only 2.5km\* to Lota Railway Station
- In close proximity to a wide variety of amenities including shopping, public transport, educational and recreational facilities

As the exclusive marketing agents we encourage your strong consideration of this outstanding asset and look forward to assisting you with your enquiries.



**Tony Williams**  
Ray White Special Projects (QLD)

M: 0411 822 544  
E: [tony.williams@raywhite.com](mailto:tony.williams@raywhite.com)



**Mark Creevey**  
Ray White Special Projects (QLD)

M: 0408 992 222  
E: [mark.creevey@raywhite.com](mailto:mark.creevey@raywhite.com)

\*Approximately

^ Important: Prospective purchasers conduct due diligence investigations of the property strictly at their own expense and risk, and the vendor will have no liability in relation to such expenses. Consent by the vendor to the conduct by any potential purchaser of due diligence activities or investigation will not in any circumstance be construed as a representation that the vendor will be exercising, or refraining from exercising its rights to deal with the property, or any representation that the vendor intends to contract with that potential buyer, or at all.

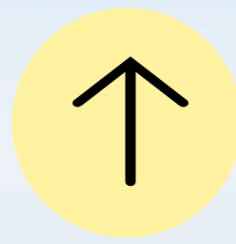
# PROPERTY HIGHLIGHTS



## 1. DEVELOPMENT APPROVAL

Brisbane City Council approval for 36 townhomes and 1 dwelling house.

The approval significantly derisks the future development of the property securing development surety and the ability to fast track delivery of townhomes to the market.



## 2. ARCHITECTURAL DESIGN

Designed by Rothelowman architects the development incorporates generously sized three and four bedroom designed townhomes each with double lock up garage and large private space areas.



## 3. LOCATION

Only 14km east of the Brisbane CBD and 3.2km from Manly Village and Boat Harbour the site provides a unique opportunity to acquire a site in one of Brisbane's most desirable Bayside suburbs. Manly and Manly West have historically seen a number of high quality of developments delivered successfully delivered to cater for the owner occupier market.



## 4. INFRASTRUCTURE

As an "in-fill" site the property enjoys the benefit of being directly adjacent to essential service connection including power, water, sewer and other services.



## 5. FACILITIES AND AMENITIES

The site is in close proximity to a large variety of local shopping, educational, child care and recreational facilities.



## 6. PUBLIC TRANSPORT

The site has a bus stop on the door step and is only a few kilometres to both Manly and Lota Railway Stations.

# SALES SUMMARY

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**Address** 378 Manly Road, Manly West QLD 4179

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**Method of Sale**

The property is being offered for sale by Offers to Purchase.

If the OTP is to be submitted by hard copy it is to be enclosed within a sealed envelope marked clearly with:

OTP for 378 Manly Road, Manly West QLD 4179

c/- Tony Williams  
Ray White Special Projects (QLD)  
Level 26, One One One Eagle Street  
111 Eagle Street, Brisbane Qld 4000

If the OTP is to be submitted electronically, details are as follows:

c/- Ray White Commercial (QLD)  
Facsimile: (07) 3832 4777  
E-mail: tony.williams@raywhite.com, mark.creevey@raywhite.com

Sale Documents are available from the marketing agent upon request.

---

**Marketing Agents**

**Tony Williams**  
Ray White Special Projects (Qld)  
M: 0411 822 544  
E: tony.williams@raywhite.com

**Mark Creevey**  
Ray White Special Projects (Qld)  
M: 0408 992 222  
E: mark.creevey@raywhite.com

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# PROPERTY OVERVIEW

Address	378 Manly Road, Manly West, QLD, 4179
Real Properties Details	Lot 2 on RP 66334
Title Reference	12437078
Town Planning	<p>The property is zoned "Emerging Community" under the current Town Planning Scheme for the Brisbane City Council.</p> <p>The site is further positioned within the bounds of the Wynnum-Manly NP - Lota Wetlands Precinct.</p>
Local Authority	Brisbane City Council
Land Area	1.62ha*
Overlays	<p>Council records indicate that the property is subject to the following critical overlays:</p> <ul style="list-style-type: none"><li>• Bushfire Overlay</li><li>• Biodiversity Areas Overlay - General Ecological Significance</li><li>• Biodiversity Areas Overlay - High Ecological Significance</li><li>• Airport Environs Overlay</li><li>• Potential and Actual Acid Sulfate Soils Overlay</li></ul>



\*Approximately

# PROPERTY OVERVIEW

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## Land Description

The site comprises a rectangular shaped, inside allotment, with circa 69 metres of frontage to Manly Road to the northern boundary. The sites elevations range from approximately RL 28.6 AHD fronting Manly Road to RL 8.0m at the rear of the property.

The front portion of the site is improved with an older style brick construction residential dwelling and an older style timber board residential dwelling, which are to be removed as part of the existing Development Application. As the former use of the site is a tennis court the property also comprises three tennis courts which are in a dilapidated state.

The front section of the site is vegetated with scattered trees throughout. As part of the Development Approval, the vegetation is to be cleared.

The south eastern portion of the site falls within General Ecological Significance and High Ecological Significance Brisbane City Council Overlay.

The Development Approval permits development within the General Ecological Significance area, while the High Ecological Significance Area, which consists of approximately 30% of the total site area (4,830m<sup>2</sup>), is to be retained.

## Roads and Access

Access to the property via Manly Road to the south western end of the sites road frontage.

The site further benefits from direct stub road access to Oasis Close, a completed road through the adjoining Bay Breeze Estate, which adjoins the south western boundary of the subject site. This stub road provides the future access to the development.

In the vicinity of the subject, Manly Road comprises a three lane thoroughfare, which connects the suburbs of Manly, Manly West and Wynnum with the inner eastern suburb road networks including Wynnum Road and the Gateway Motorway. It provides two lanes of traffic for Eastbound vehicles and one lane of traffic for Westbound vehicles which forms into two just passed the subject site.

The gravel verge to the sites Manly Road frontage is proposed for a 4.66 metre wide Brisbane City Council road widening, consistent with the planned upgrade for Manly Road and adjoining developments.

## Services and Amenities

All normal utilities including electricity, telephone, reticulated town water and sewerage services are available and connected to the property.

# DEVELOPMENT OVERVIEW

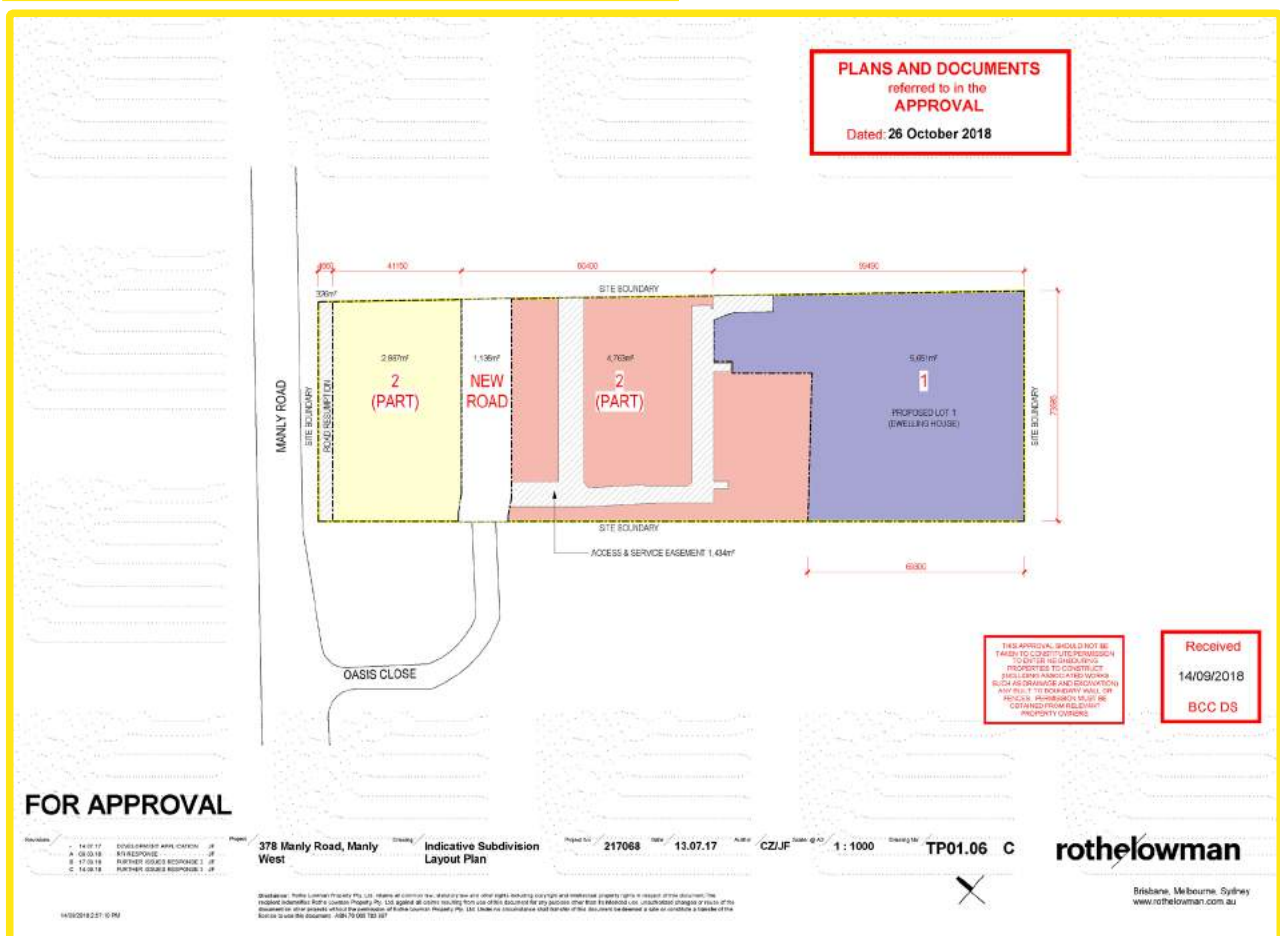
## APPROVED DEVELOPMENT

The site received Development Approval on the 26 October 2018, under council reference No. A004711186, for a 36 dwelling residential townhomes project and a two lot subdivision including a proposed residential dwelling.

The Development Approval is summarised as follows:

Description	Activity	Decision Date	Expiry
DA - PA - Material Change of Use (ref DAMC344716917)	Multiple Dwelling	26 October 2018	26 January 2025
DA - PA - Material Change of Use (ref DAMC344717017)	Dwelling House	26 October 2018	26 January 2025
DA - PA - Reconfiguring a Lot (ref DARL345007717)	Subdivision of Land	26 October 2018	26 January 2025

## APPROVED SUBDIVISION PLAN







# LOCATION OVERVIEW

Manly West is an established Brisbane City Council suburb, situated within 14 km east of the Brisbane CBD and bordered by the well sought after residential suburbs of Wynnum, Tingalpa and Wakerley. It is located within short driving distance to the picturesque Moreton Bay which hosts a range of recreational and dining facilities, as well as a local commercial precinct.

The area is within close proximity to a range of shopping amenities including the Woolworths anchored Mayfair Village situated circa 1.5 kilometres, or a 3 minute drive to the south along Manly Road. It includes a number of supporting retailers including local restaurants, a local banking branch, Snap Fitness facility, TAB facility, local butcher and a Dominoes.

Wynnum Plaza is further located 2.2 kilometres, or a five minute drive north west of the subject. It is the major shopping centre for the Bayside region, and includes a Coles and Woolworths Supermarket, Kmart store and ample supporting retailers. The centre further includes an attached Dan Murphy's, McDonald's, Supercheap Auto and Kmart Tyre and Auto.

Local bus networks service Manly Road, with a bus stop situated directly outside the subject property allowing for easy access to and from Brisbane's major employment hubs. Council Trains service the local area, with Manly Station situated just 2.5 kilometres to the north and Lota Station situated two kilometres to the east.

The Manly West region is home to both Manly West Primary School, Manly West State School, Wondall Heights State School and Moreton Bay Boy's College. Further schools within nearby proximity to the subject site include Brisbane Bayside State School, Iona Private Boys College and Cannon Hill Anglican College.

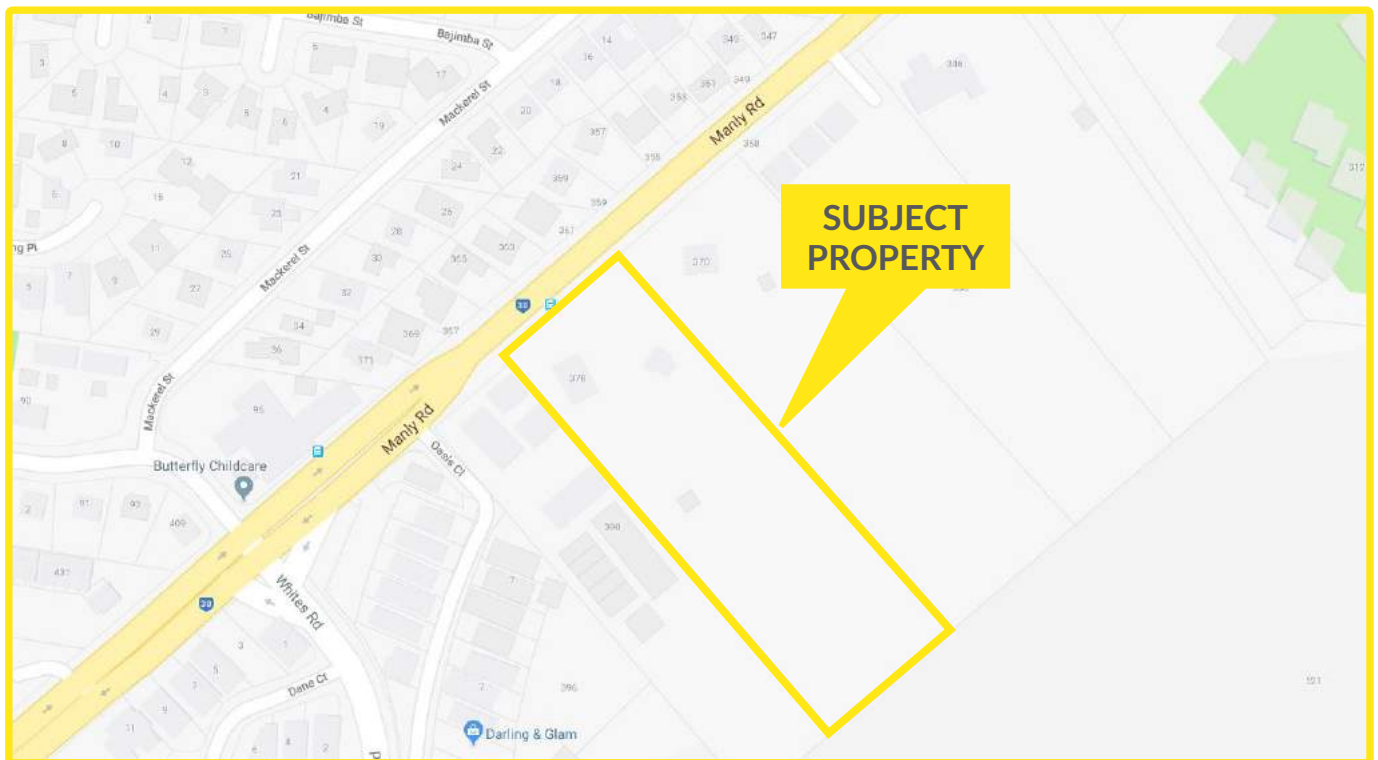
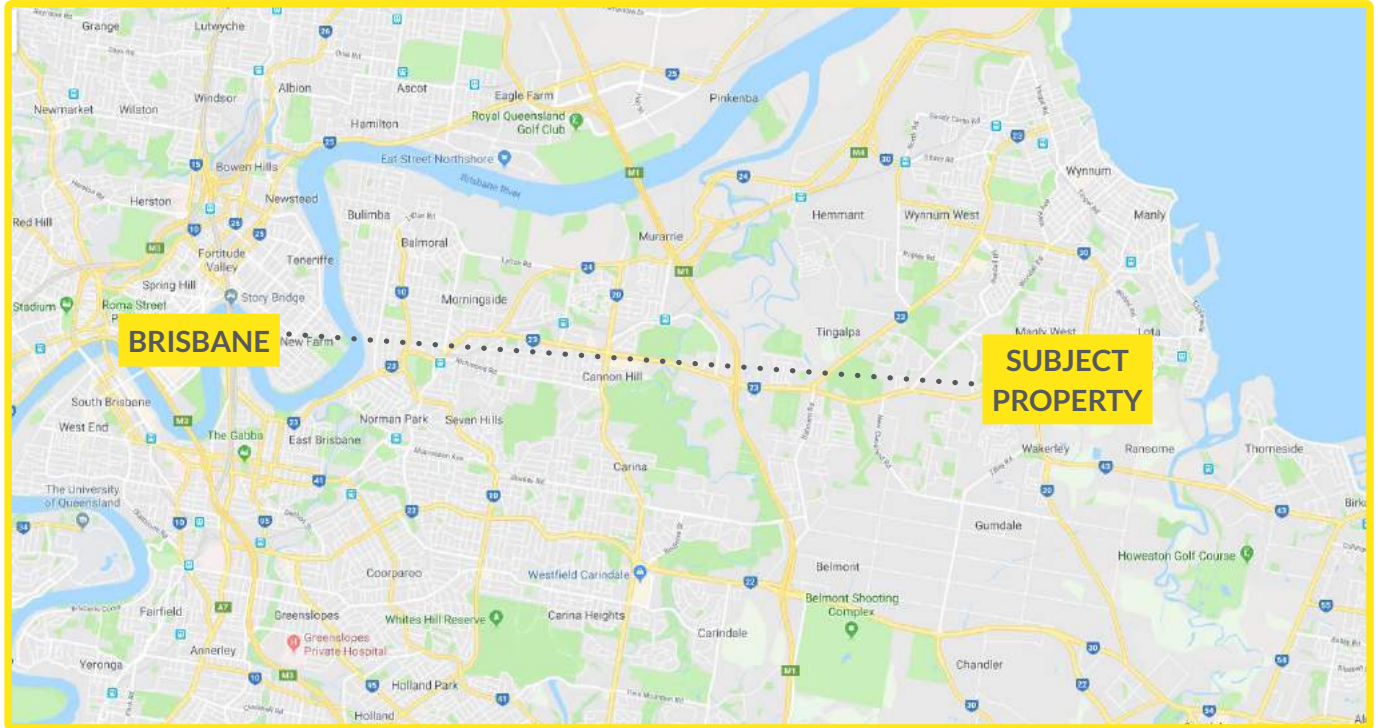
Health care services within the area include the Mayfair Medical Centre as part of the nearby Mayfair Village, Wynnum Medical Centre, Baywest Medical Centre and Manly Clinic.



# LOCATION OVERVIEW

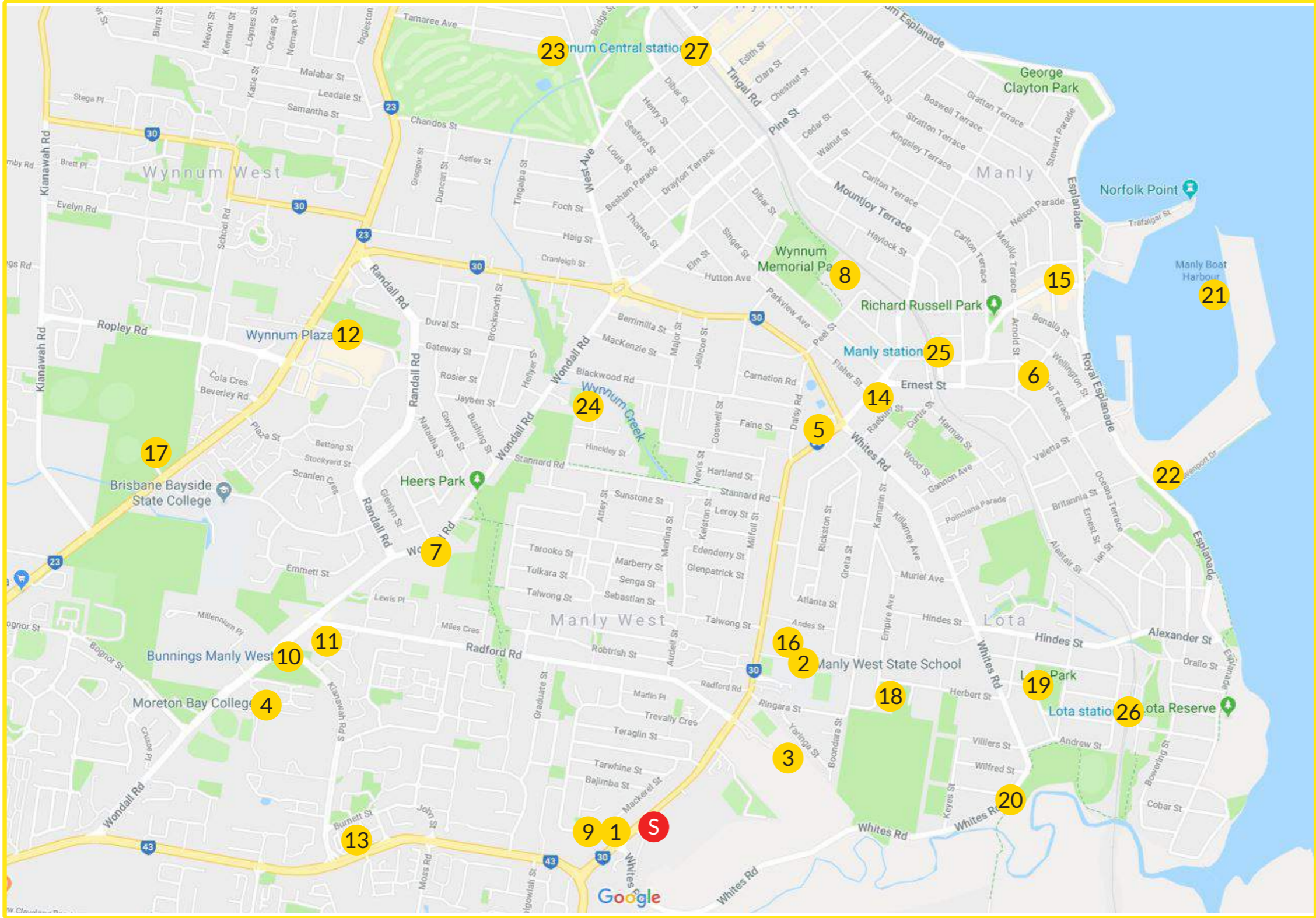


# LOCATION MAP



\*Outline and Locations indicative only

# AMENITIES MAP



### Schools

1. Butterfly Childcare
2. Manly West State School
3. Moreton Bay Boys' College
4. Moreton Bay College
5. Mother Duck Childcare and Pre-school Centres
6. St John Vianney's Primary School
7. Wondall Heights State School
8. Wynnum State High School

### Shopping

9. 7Eleven Manly West
10. Bunnings Manly West
11. IGA Manly West
12. Wynnum Plaza
13. Mayfair Village

### Medical

14. Doctors on Manly Road
15. Manly Village Medical
16. Silky Oaks Medical Practice

### Recreation and Parks

17. Brisbane Bayside Steam Railway
18. Herbert Street Park
19. Lota Community Gardens
20. Lota Creek Boardwalk
21. Manly Boat Harbour
22. Royal Queensland Yacht Squadron
23. Wynnum Golf Club
24. Wynnum Manly Leagues Club

### Public Transport

25. Manly Railway Station
26. Lota Railway Station
27. Wynnum Central Station

**S** Subject Property

# DISCLAIMER

The information contained in this Information Memorandum and any other verbal or written information given in respect of the property ("Information") is provided to the recipient ("you") on the following conditions:

1. Eagle Street (Brisbane) Pty Ltd ABN 68 164 201 629 trading as Ray White Commercial (Queensland) or any of its officers, employees or consultants ("we, us") make no representation, warranty or guarantee, that the Information, whether or not in writing, is complete, accurate or balanced. Some information has been obtained from third parties and has not been independently verified. Accordingly, no warranty, representation or undertaking, whether express or implied, is made and no responsibility is accepted by us as to the accuracy of any part of this, or any further information supplied by or on our behalf, whether orally or in writing.
2. All visual images (including but not limited to plans, photographs, specifications, artist impressions) are indicative only and are subject to change. Any measurement noted is indicative and not to scale. All outlines on photographs are indicative only.
3. The Information does not constitute, and should not be considered as, a recommendation in relation to the purchase of the property or a solicitation or offer to sell the property or a contract of sale for the property.
4. You should satisfy yourself as to the accuracy and completeness of the Information through your own inspections, surveys, enquiries, and searches by your own independent consultants, and we recommend that you obtain independent legal, financial and taxation advice. This includes as to whether any listing price is inclusive or exclusive of GST.
5. We are not valuers and make no comment as to value. "Sold/ leased" designations show only that stock is "currently not available" – not that the property is contracted/ settled. If you require a valuation we recommend that you obtain advice from a registered valuer.
6. The Information does not and will not form part of any contract of sale for the property. If an interested party makes an offer or signs a contract for the property, the only information, representations and warranties upon which you will be entitled to rely will be as expressly set out in such a contract.
7. Interested parties will be responsible for meeting their own costs of participating in the sale process for the property. We will not be liable to compensate any intending purchasers for any costs or expenses incurred in reviewing, investigating or analysing any Information.
8. We will not be liable to you (to the full extent permitted by law) for any liabilities, costs or expenses incurred in connection with the Information or subsequent sale of the property whatsoever, whether the loss or damage arises in connection with any negligence, default or lack of care on our part.
9. No person is authorised to give information other than the Information in this Information Memorandum or in another brochure or document authorised by us. Any statement or representation by an officer, agent, supplier, customer, relative or employee of the vendor will not be binding on the vendor or us.
10. To the extent that any of the above paragraphs may be construed as being a contravention of any law of the State or the Commonwealth, such paragraphs should be read down, severed or both as the case may require and the remaining paragraphs shall continue to have full force and effect.
11. You may not discuss the Information or the proposed sale of the property with the vendors or with any agent, friend, associate or relative of the vendor or any other person connected with the vendor without our prior written consent. We accept no responsibility or liability to any other party who might use or rely upon this report in whole or part of its contents.
12. The Information must not be reproduced, transmitted or otherwise made available to any other person without our prior written consent.

# SOURCES OF INFORMATION

PAGE	CONTENT	SOURCE
Page 04	Property Overview	RP Data, Brisbane City Council
Page 06	Development Overview	Brisbane City Council, Rothelowman
Page 08	Location Overview	Wikipedia, Google Maps, & Brisbane City Council
Page 10	Location Map	Google Maps
Page 11	Amenities Map	Google Maps
Annexure A	Photographs	Skyepics
Annexure B	Offer to Purchase Form	Ray White
Annexure C	Title Search	Department of Natural Resources and Mines
Annexure D	Smart Map	Department of Natural Resources and Mines
Annexure E	Development Approval (Decision Notice & Conditions)	Brisbane City Council
Annexure F	Approved Drawings	Brisbane City Council

# DUE DILIGENCE INFORMATION

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Further information is available on request including:

- Architectural Plans
- Engineering Reports
- Geotech Report
- Infrastructure Charges
- Land Tax & Rates
- Landscape Concept Plans
- Summary of Approval Docs
- Survey Plans
- Town Planning Reports & Applications
- Traffic Report



# ANNEXURE A PHOTOGRAPHY

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SOURCE: SKYEPICS









# ANNEXURE B

# OFFER TO PURCHASE FORM

SOURCE: RAY WHITE

# OFFERS TO PURCHASE FORM

## Offers to Purchase (OTP) Form / Particulars

I / We register our Offer to Purchase to enter into negotiations to purchase the property located at 378 Manly Road, Manly West QLD 4179. ("the Property").

### Property Details

Address 378 Manly Road, Manly West, QLD, 4179

Real Property Description Lot 2 on RP 66334

Local Authority Brisbane City Council

Land Area 1.62ha\*

### Offer to Purchase

Proposed Price: \$ excluding GST

Proposed Deposit: 10% of the Purchase Price

Proposed Settlement Date:

Further Details / Information:  
(Finance, Conditions etc.)

### Details of Proposed Buyer

Full Name(s):

If Company Name:  
ABN:  
Registered for GST: Yes or No (please circle one)

Contact Details Address:  
Mobile:  
Email:

FIRB approval require to purchase the Property: Registered for GST: Yes or No (please circle one)  
Buyers should consult their legal advisers if in doubt

Proposed Guarantors\* (please complete if the proposed Buyer is a company or trustee of a trust): Name:  
Address:  
Telephone:  
Email:

\*Guarantors should be directors of a company Buyer or principal beneficiaries if trustee Buyer

### Details of Proposed Buyer's Solicitor (if known)

---

Firm:

---

Name / Contact:

---

Address:

---

Contacts:

Telephone:

Email:

---

### Proposed Buyer Acknowledgment

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In submitting an Offer to Purchase to buy the subject property ("OTP"), the Proposed Buyer agrees to the following conditions:

1. The Proposed Buyer agrees to and accepts all disclaimers, limitations and qualifications in any written or verbal brochure, advertisement, representation, search, advice or information issued by the Vendors or Ray White or anyone on behalf of either of them ("Marketing Material").
2. The Proposed Buyer acknowledges that the Proposed Buyer has to satisfy itself about the characteristics, value, potential and features of the subject property by relying only on the Buyer's own enquiries and investigations and not on any Marketing Material. Therefore, neither the Vendors nor Ray White (or their respective employees and agents) will be liable if any Marketing Material is incorrect, incomplete or misleading.
3. The Proposed Buyer accepts and agrees to the terms of the Disclaimer in the Information Memorandum containing this OTP form.
4. The Proposed Buyer agrees that the Vendors will not be obliged to sell the subject property in response to this or any particular OTP.
5. The Vendors may sell the subject property to any person they choose, as a result of the OTP process or otherwise, or not at all. The Proposed Buyer cannot assume or expect that:
  - the Vendors will negotiate, or not negotiate, with the Proposed Buyer or any other respondent;
  - the Vendors will accept the highest purchase price offered;
  - the Vendors will consider any particular feature of an OTP or other proposal to buy the subject property as determinative; or
  - the submission of the Proposed Buyer's OTP will lead to any particular outcome.
6. No claim can be made against the Vendors or Ray White in relation to any costs or expenses incurred by a respondent in evaluating the subject property or submitting an OTP.
7. This OTP constitutes an Offer to Purchase by the Proposed Buyer to negotiate for the possible sale and purchase of the subject property.

### Execution

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Signed by the Proposed Buyer:

Signature

---

Full Name:

---



# ANNEXURE C

# TITLE SEARCH

SOURCE: DEPARTMENT OF NATURAL RESOURCES AND MINES

CURRENT TITLE SEARCH

NATURAL RESOURCES, MINES AND ENERGY, QUEENSLAND

Request No: 30406521

Search Date: 17/01/2019 17:50

Title Reference: 12437078

Date Created: 01/06/1949

Previous Title: 12404096

REGISTERED OWNER

Dealing No: 719177513 20/12/2018

VISIE THREE PTY LTD A.C.N. 601 326 667

ESTATE AND LAND

Estate in Fee Simple

LOT 2 REGISTERED PLAN 66334  
Local Government: BRISBANE CITY

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by  
Deed of Grant No. 10015227 (POR 95)
2. MORTGAGE No 719177516 20/12/2018 at 11:31  
AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED A.C.N. 005  
357 522

ADMINISTRATIVE ADVICES - NIL

UNREGISTERED DEALINGS - NIL

CERTIFICATE OF TITLE ISSUED - No

Caution - Charges do not necessarily appear in order of priority

\*\* End of Current Title Search \*\*

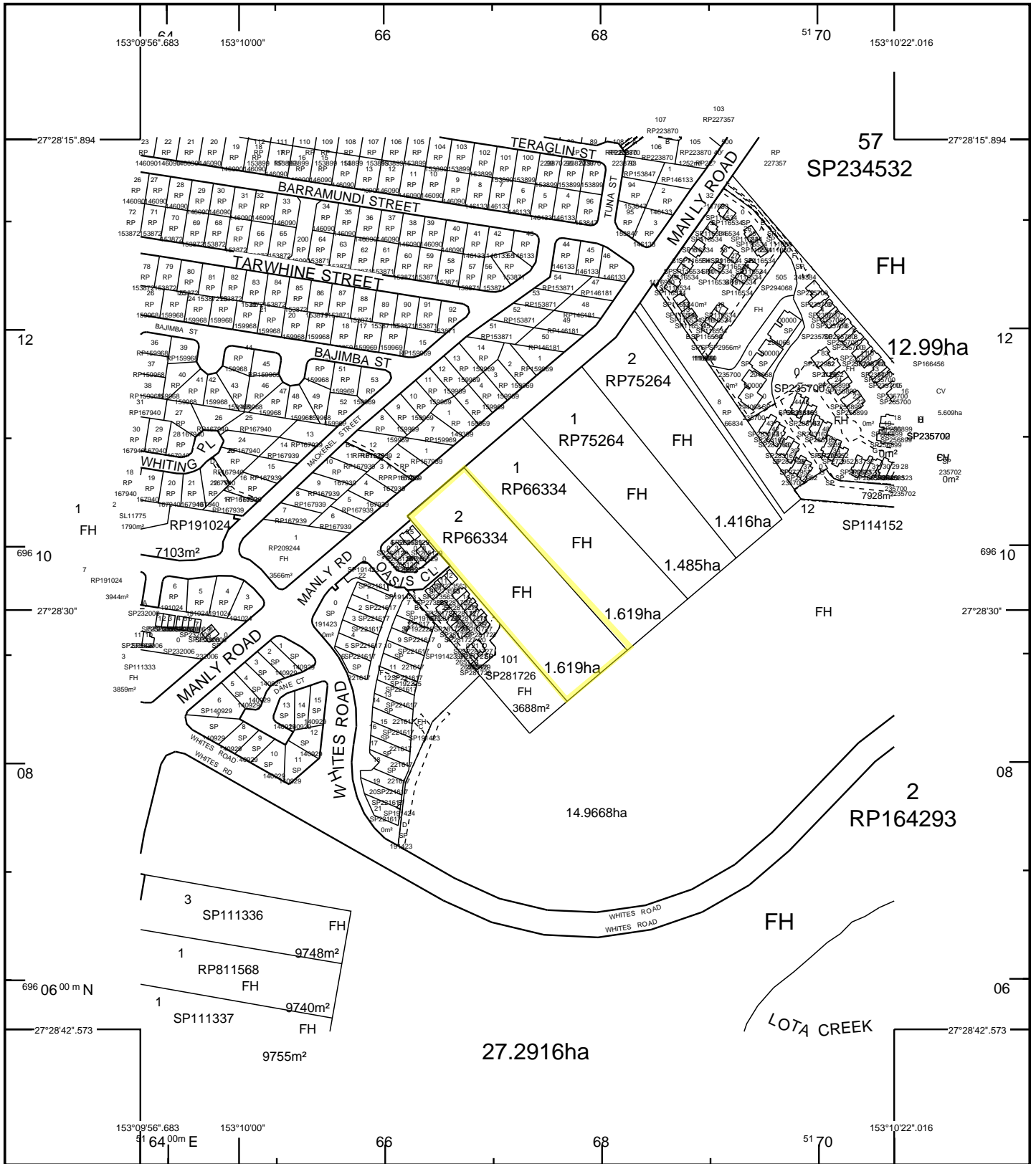
COPYRIGHT THE STATE OF QUEENSLAND (NATURAL RESOURCES, MINES AND ENERGY) [2019]  
Requested By: D-ENQ GLOBAL X

# ANNEXURE D

# SMART MAP

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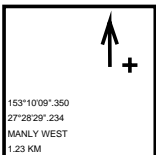
SOURCE: DEPARTMENT OF NATURAL RESOURCES AND MINES



STANDARD MAP NUMBER  
9543-32324



MAP WINDOW POSITION & NEAREST LOCATION



SUBJECT PARCEL DESCRIPTION

DCDB	
Lot/Plan	2/RP66334
Area/Volume	1.619ha
Tenure	FREEHOLD
Local Government	BRISBANE CITY
Locality	MANLY WEST
Segment/Parcel	18084/17

CLIENT SERVICE STANDARDS

PRINTED (dd/mm/yyyy)	17/01/2019
DCDB	16/01/2019
Users of the information recorded in this document (the Information) accept all responsibility and risk associated with the use of the Information and should seek independent professional advice in relation to dealings with property.	
Despite Department of Natural Resources, Mines and Energy (DNRME)'s best efforts, DNRME makes no representations or warranties in relation to the Information, and, to the extent permitted by law, exclude or limit all warranties relating to correctness, accuracy, reliability, completeness or currency and all liability for any direct, indirect and consequential costs, losses, damages and expenses incurred in any way (including but not limited to that arising from negligence) in connection with any use of or reliance on the Information	
For further information on SmartMap products visit <a href="http://nrw.qld.gov.au/property/mapping/blinmap">http://nrw.qld.gov.au/property/mapping/blinmap</a>	

**SmartMap**

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SmartMap Information Services  
Based upon an extraction from the  
Digital Cadastral Data Base



**Queensland Government**  
(c) The State of Queensland,  
(Department of Natural Resources,  
Mines and Energy) 2019.



ANNEXURE E  
DEVELOPMENT APPROVAL  
(DECISION NOTICE + CONDITIONS)

SOURCE: BRISBANE CITY COUNCIL



**City Planning & Sustainability  
Development Services**

Brisbane Square, 266 George Street, Brisbane Qld 4000  
GPO Box 1434 Brisbane QLD 4001  
T 07 3403 8888  
[www.brisbane.qld.gov.au](http://www.brisbane.qld.gov.au)

*Dedicated to a better Brisbane*

26 October 2018

Warren Swanston  
c/- Reel Planning Pty Ltd  
PO Box 2088  
MILTON QLD 4064

**Application Reference:** A004711186  
**Address of Site:** 378 MANLY RD MANLY WEST QLD 4179

Dear Warren,

**RE:** Decision Notice pursuant to section 63 of the *Planning Act 2016*

I am pleased to inform you that your development application has been approved as indicated in the attached decision notice. This approval must be carried out in accordance with the attached development approval package.

In addition to this approval you may also be required to obtain a water approval from the Central SEQ Distributor Retailer trading as Queensland Urban Utilities.

Infrastructure charges notices will be issued for the approved development pursuant to the *Brisbane Infrastructure Charges Resolution (No. 7) 2018*, as detailed below:

Brisbane City Council has levied infrastructure charges for the transport, public parks and land for community facilities and stormwater trunk infrastructure networks. The infrastructure charges notice has not been attached to the decision notice and will be issued as soon as practicable.

An infrastructure charges notice for the sewerage and water supply trunk infrastructure networks is attached to this decision notice. Queensland Urban Utilities may issue this infrastructure charges notice following this decision notice.

An early referral agency response for amenity and aesthetic impact/ design and siting/flood hazard area/ local heritage places of the proposed building work (Schedule 9, and Schedule 10 of the *Planning Regulation 2017*) is also attached. This early referral response is to be provided to the Building Certifier issuing the development permit for carrying out building work.

**No further referral agency referral (amenity and aesthetics/ design and siting/flood hazard area/ local heritage places) is required for the building work development permit.**

Included is a table of appeal rights under the *Planning Act 2016* advising you of appeal rights to the Planning and Environment Court or a tribunal.

Please phone me on telephone number below during normal business hours if you have any queries regarding this matter.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Selen Tear', with a stylized, cursive flourish extending to the right.

Selen Tear  
Urban Planner  
Planning Services East  
Phone: 3403 4083  
Email: [selen.tear@brisbane.qld.gov.au](mailto:selen.tear@brisbane.qld.gov.au)  
Development Services  
Brisbane City Council

## Decision Notice

(Section 63 (Notice of decision) of the *Planning Act 2016*.)

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### INTRODUCTION

This is a decision notice pursuant to section 63 of the *Planning Act 2016*. The decision to approve the application on **26 October 2018** was made by the Principal Urban Planner as the delegate appointed by Council to determine the application.

### APPLICATION DETAILS

**Application Reference Number:** A004711186  
**Application Made Date:** 07 August 2017  
**Properly Made Date:** 07 August 2017

### DESCRIPTION OF THE DEVELOPMENT

**Aspect of Development:** DA - PA - Material Change of Use (ref DAMC344716917)  
**Nature Application:** Development Permit  
**Activity:** Multiple Dwelling  
**Description of Proposal:** Multiple Dwelling (36 units)

**Aspect of Development:** DA - PA - Material Change of Use (ref DAMC344717017)  
**Nature Application:** Development Permit  
**Activity:** Dwelling House  
**Description of Proposal:** Dwelling House in the Biodiversity areas overlay and Bushfire Overlay

**Aspect of Development:** DA - PA - Reconfiguring a Lot (ref DARL345007717)  
**Nature Application:** Development Permit  
**Activity:** Subdivision of Land  
**Description of Proposal:** Reconfiguration of a Lot (1 into 2 lots including new road and access easement)

### APPLICANT DETAILS

**Name of Applicant:** Warren Swanston  
**Applicant Address:** Warren Swanston  
c/- Reel Planning Pty Ltd  
PO Box 2088  
MILTON QLD 4064

### SITE DETAILS

**Address of Site:** 378 MANLY RD MANLY WEST QLD 4179  
**Real Property Description:** L2 RP.66334



**Zone:** EMERGING COMMUNITY ZONE  
**Owner:** Est Jean Ethel Mathams Decd  
**Ward:** Wynnum-Manly

### **TYPE OF APPROVAL**

Material Change of Use – Development Permit (ref DAMC344716917)

Material Change of Use – Development Permit (ref DAMC344717017)

Reconfiguring a Lot – Development Permit (ref DARL345007717)

### **CURRENCY PERIOD FOR THE DEVELOPMENT APPROVAL**

The currency period for this development approval (inclusive of all of its parts) will end on 26 January 2025.

This development approval (inclusive of all of its parts) lapses at midnight on the above stated date if:

- for a material change of use, the first change of use does not happen;
- for reconfiguring a lot, the plan of subdivision for the reconfiguration is not given to Council;  
or
- for any other development (including building work, operational work and any early referral agency response), the development does not substantially start; or
- for any development approval made up of two or more different parts, each part which does not fulfil the measures stated above for material change of use, reconfiguring a lot, or any other development.

The currency period is determined by Council pursuant to section 85 of the *Planning Act 2016*.

### **FURTHER DEVELOPMENT PERMITS**

The following development permit/s are required to carry out the development:

- Carry Out Building Work – Development Permit
- Carry Out Operational Work – Development Permit

### **ASSESSMENT OF CONDITION COMPLIANCE**

Assessment of compliance with conditions that require a document and/or works to be approved by Council must be actioned by the submission of form CC11018: Request for Assessment of Compliance with Conditions (available on Council's website).

The form should be submitted by electronic lodgement to [dalodgement@brisbane.qld.gov.au](mailto:dalodgement@brisbane.qld.gov.au). A fee quote will be generated upon receipt of the request and forwarded for payment prior to assessment of the request. A separate request must be made for each condition or part condition as appropriate.

### **BUILDING WORK ASSESSABLE AGAINST THE *BUILDING ACT 1975***

An early referral agency response under section 57 of the *Planning Act 2016* is attached to this decision notice for assessment of the amenity and aesthetic impact of the proposed building work (*Planning Regulation 2017*, Schedule 9, Part 3, Division 2, Table 1).

## **BUILDING CLASSIFICATION**

Where the approved development involves building work that is building, repairing or altering a building that is assessable against the building assessment provisions, the classification or proposed classification of the building is to be limited to Class 1 and/or Class 10.

## **REFERRAL AGENCIES**

No referral agencies were identified for this application.

## **CONDITIONS**

This approval is subject to conditions included in the attached development approval package which includes:

- conditions imposed by Council as assessment manager

## **SUBMISSIONS**

Submissions were received for this application. A list of the name, residential or business address and electronic address of each principal submitter is attached. The appeal period for a submitter of a properly made submission does not commence until the applicant's appeal period has ended or the applicant gives to the Council written notice that the applicant does not intend to make change representations about the conditions of the development approval.

If, within 1 year after a development application (the original application) lapses or is withdrawn, another development application that is not substantially different from the original application (the later application) is made, any properly made submission for the original application is taken to be a properly made submission for the later application.

An eligible submitter for a development application, or a change application, is entitled to appeal this decision or elect to become a co-respondent by election for an appeal in circumstances described in Schedule 1 of the *Planning Act 2016*.

Pursuant to section 71 of the *Planning Act 2016*, this development approval does not take effect until the submitters' appeal period has ended or, if an appeal about the approval is started and subject to the outcome of the appeal – approval starts to have effect when the appeal ends.

## **APPEAL RIGHTS**

In accordance with the *Planning Act 2016*, the rights of appeal must be stated for the applicant and any submitters. Attached is a table of appeal rights under the *Planning Act 2016* that details your appeal rights and the appeal rights of any submitters.



**City Planning & Sustainability  
Development Services**

Brisbane Square, 266 George Street, Brisbane Qld 4000  
GPO Box 1434 Brisbane QLD 4001  
T 07 3403 8888  
[www.brisbane.qld.gov.au](http://www.brisbane.qld.gov.au)

*Dedicated to a better Brisbane*

26 October 2018

Warren Swanston  
c/- Reel Planning Pty Ltd  
PO Box 2088  
MILTON QLD 4064

**Application Reference:** A004711186  
**Address of Site:** 378 MANLY RD MANLY WEST QLD 4179

Dear Warren,

**RE:** Early concurrence agency response under section 57 of the *Planning Act 2016*

This is an early referral agency response for amenity and aesthetic impact of particular building work (Schedule 9, Part 3, Division 2, Table 1 of the *Planning Regulation 2017*). This advice is to be provided to the Building Certifier issuing the development permit for carrying out building work.

This advice has been triggered due to non-compliance with acceptable outcome/s of codes identified in Table 1.7.4 of the *Brisbane City Plan 2014*.

It has been determined that the proposed building will **not**:

- (i) have an extremely adverse effect on the amenity or likely amenity of the locality; or
- (ii) be in extreme conflict with the character of the locality.

where the proposed building work complies with the requirements set out in the decision notice for Council development approved A004711186 (this includes the approved drawings, conditions and accepted development subject to compliance with identified requirements).

**Advisory Notes**

This response does not constitute an approval to start building work. A development permit to begin construction of the proposed building work must be obtained from an appropriately licensed Building Certifier.

**No further referral agency response amenity and aesthetics is required for the building work development permit.**

Any variation to the proposal will require a new request for a referral agency response and the applicable fees to be submitted for assessment by Council.

Please phone me on telephone number below during normal business hours if you have any queries regarding this matter.

Yours sincerely

Selen Tear  
Urban Planner  
Planning Services East  
Phone: 3403 4083  
Email: [selen.tear@brisbane.qld.gov.au](mailto:selen.tear@brisbane.qld.gov.au)  
Development Services  
Brisbane City Council



## BRISBANE CITY COUNCIL'S APPROVAL PACKAGE.

### APPLICATION DETAILS

This package relates to the application detailed below

<b>Address of Site:</b>	378 MANLY RD MANLY WEST QLD 4179
<b>Real Property Description of Site:</b>	L2 RP.66334
<b>Aspects of development and type of approval:</b>	DA - PA - Material Change of Use Development Permit - Multiple Dwelling DA - PA - Material Change of Use Development Permit - Dwelling House DA - PA - Reconfiguring a Lot Development Permit - Subdivision of Land DA - PA - Referral Agency for Building Work Development Permit - Amenity and aesthetics
<b>Council File Reference:</b>	A004711186 Permit Reference Number/s: DAMC344716917; DAMC344717017; DARL345007717; DAEB365781618.
<b>Package Status:</b>	APPROVED - Version 1 (26th of October, 2018 4:07:10 PM)
<b>Package Generated:</b>	26/10/2018

### PROJECT TEAM

The assessment of this application has been undertaken by:

Rebecca OWENS Senior Urban Planner Development Assurance & Outcomes rebecca.owens@brisbane.qld.gov.au (07) 3178 5196	Kathryn KELLY Principal Urban Planner Planning Services East edaeast@brisbane.qld.gov.au 07 3407 1308	James WORTH Landscape Architect Green Space Services James.Worth@brisbane.qld.gov.au +61731781362
Eric OWEN Senior Technical Officer Engineering Services eric.owen@brisbane.qld.gov.au (07) 3178 5195	Selen TEAR Urban Planner Planning Services East selen.tear@brisbane.qld.gov.au 3403 4083	Sussan BARTRIM Senior Ecologist Green Space Services Sussan.Bartrim@brisbane.qld.gov.au 0731784109
JOANNE LOVE-SLOMAN Landscape Architect Green Space Services joanne.lovesloman@brisbane.qld.gov.au (07) 3403 8888	Mary CROSDALE Senior Architect Architect Services Mary.Crosdale@brisbane.qld.gov.au 0731782087	

**DRAWINGS AND DOCUMENTS**

The term 'drawings and documents' or similar expressions mean:

<b>Drawing or Document</b>	<b>Number</b>	<b>Plan Date</b>
Concept Site Servicing Layout Plan	B17040CSK103B (Amended In Red 16-OCT-2018)	12-MAR-2018
Concept Functional Layout Plan	B17040CSK04A	14-SEP-2018 (Received)
Road Widening Plan	RC160091	09-MAY-2003
Tree Retention Plan	BRSS7248.000-002 Revision E (Amended In Red 10-OCT-2018)	02-JUN-2017
Koala Habitat Reclassification Plan	TP01.01 A (Amended In Red 15-OCT-2018)	03-MAY-2018 (Received)
Type A2 - Floor Plans	TP04.02	03-MAY-2018 (Received)
Stormwater Management Plan	B17040CR002	12-MAR-2018
Landscape Concept Plans	180515 (Amended In Red 26-SEP-2018)	14-SEP-2018 (Received)
Bushfire Hazard Assessment and Management Plan	(Amended In Red 10-JUL-2018)	25-JUN-2018 (Received)
Bushfire Covenant and Bushfire Management Zone Plan	QEJ18007 (Amended In Red 10-JUL-2018)	18-JUN-2018
Environmental Protection Zone and Environmental Covenant Plan	(Amended In Red 10-JUL-2018)	25-JUN-2018 (Received)
Specifications	180516 02 Issue C	14-SEP-2018 (Received)
CCS & POS Palette	180516 Issue B	14-SEP-2018 (Received)
Materials Palette	180516 04 Issue C	14-SEP-2018 (Received)
Elements Palette	180516-05 Issue C (Amended In Red 26-SEP-2018)	14-SEP-2018 (Received)
Planting Palette	180516-06 Issue C	14-SEP-2018 (Received)
Master Landscape Plan	180516-07 Issue 7 (Amended In Red 26-SEP-2018)	14-SEP-2018 (Received)
Concept Plan	180516-08 Issue D (Amended In Red 26-SEP-2018)	14-SEP-2018 (Received)
Concept Plan	180516-09 Issue B (Amended In Red 26-SEP-2018)	14-SEP-2018 (Received)
Concept Plan	180516-10 Issue C (Amended In Red 26-SEP-2018)	14-SEP-2018 (Received)
Deep Planting Plan	180516-11 Issue B (Amended In Red 26-SEP-2018)	14-SEP-2018 (Received)
Cover Sheet	TP00.00 C	14-SEP-2018 (Received)
Site Constraints Plan	TP01.01 C	14-SEP-2018 (Received)
Proposed Overall Site Master Plan	TP01.02 C	14-SEP-2018 (Received)
Proposed Ground Floor Master Plan	TP01.03 D (Amended In Red 12-OCT-2018)	14-SEP-2018 (Received)
Proposed Level 1 Master Plan	TP01.04 C	14-SEP-2018 (Received)
Proposed Roof Level Master Plan	TP01.05 C	14-SEP-2018 (Received)
Indicative Subdivision Layout Plan	TP01.06 C (Amended In Red 17-OCT-2018)	14-SEP-2018 (Received)
Private Open Space	TP01.07 C	14-SEP-2018 (Received)
Cluster Elevations - Sheet 1	TP02.01 C	14-SEP-2018 (Received)
Cluster Elevations - Sheet 2	TP02.02 C	14-SEP-2018 (Received)
Cluster Elevations - Sheet 3	TP02.03 B	14-SEP-2018 (Received)
Cluster Elevations - Sheet 4	TP02.04 A	14-SEP-2018 (Received)
Cluster Elevations - Sheet 5	TP02.05 B	14-SEP-2018 (Received)
Cluster Elevations - Sheet 6	TP02.06 B	14-SEP-2018 (Received)

Cluster Elevations - Sheet 7	TP02.07 B	14-SEP-2018 (Received)
Cluster Elevations - Sheet 8	TP02.08 B	14-SEP-2018 (Received)
Site Sections	TP03.01 C	14-SEP-2018 (Received)
Site Sectional Studies	TP03.02 A	14-SEP-2018 (Received)
Site Sectional Studies	TP03.03 A	14-SEP-2018 (Received)
Type A1 - Floor Plans	TP04.01 C (Amended In Red 12-OCT-2018)	14-SEP-2018 (Received)
Type B - Floor Plans	TP04.03 C	14-SEP-2018 (Received)
Type C - Floor Plans	TP04.04 B	14-SEP-2018 (Received)
Type D - Floor Plans - Ground & Level 1	TP04.06 A	14-SEP-2018 (Received)
Type D - Floor Plan - Lower Ground	TP04.05 B	14-SEP-2018 (Received)

#### Advice

Please see the attached document(s) for any advices.

### APPROVAL CONDITIONS

Permit to Which These Conditions Relate:	DA - PA - Material Change of Use
Activity(ies):	Multiple Dwelling
Stage:	

#### General/Planning Requirements

	<b>Timing</b>
<p><b>1) Approved Drawings and Documents</b></p> <p>A legible copy of the Council approved DRAWINGS AND DOCUMENTS and the Development Approval Package must be maintained on site and kept available for inspection by site workers and Council officers.</p> <p>Note: This condition is imposed to ensure compliance with the conditions of development approval.</p>	While site/operational/building work is occurring
<p><b>2) Carry Out the Approved Development</b></p> <p>Carry out the approved development generally in accordance with the approved DRAWINGS AND DOCUMENTS.</p> <p>Note. This development approval may include the location of fences, retaining walls and/or external walls of buildings on the boundary of a lot. This approval does not imply permission to enter neighbouring properties to carry out the construction (including associated drainage and earthworks) or maintenance activities. Permission to enter neighbouring properties must be obtained from relevant property owners.</p>	While site/operational/building work is occurring and then to be maintained
<p><b>3) Complete All Building Work</b></p> <p>Complete all building work associated with this development approval, including work required by any of the conditions included in the Development Approval Package. Such building work must be carried out generally in accordance with the approved DRAWINGS AND DOCUMENTS, and, where the building work is assessable development, in accordance with a current development approval.</p>	Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL), and then to be maintained
<p><b>4) Maintain the Approved Development</b></p> <p>Maintain the approved development generally in accordance with the approved DRAWINGS AND DOCUMENTS, and any relevant Council engineering or other approval required by the conditions.</p>	To be maintained
<p><b>5) Commencement of Use</b></p> <p>The Multiple Dwellings and Dwelling House must not commence use until all conditions relating to the ROL 1 into 2 lots including new road and access easement have been complied with and the Plan of Subdivision has been registered with the State's Titles Office.</p>	As indicated

Timing: When all conditions relating to the earlier stage have been complied with.	
<p><b>6) Erect Screen Fence</b></p> <p>Erect a screen fence along the boundaries of the site as shown on the approved DRAWINGS AND DOCUMENTS. Unless an alternative design for the fence is agreed to with the owner of adjoining land, the screen fence must be 1.8 metres in height and be constructed from timber palings (except along those parts of the boundary where an acoustic barrier is required to be constructed).</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>
<p><b>7) Visitor Parking</b></p> <p>Visitor car parking spaces must:</p> <ul style="list-style-type: none"> <li>- Be clearly labelled as 'Visitor Parking'; and</li> <li>- Remain unimpeded by landscaping, water tanks, storage (temporary or otherwise), gates or any other fitting, fixture or structure to provide 24 hour unrestricted access for bona fide visitors.</li> </ul>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained</p>

### Architecture

	<b>Timing</b>
<p><b>8) External Details</b></p> <p>External details of the building, facade treatment and external materials, colours and finishes must be consistent with the approved DRAWINGS AND DOCUMENTS.</p> <p>Note: The requirement to use particular materials and finishes is imposed only for the purpose of achieving a built form outcome that displays architectural merit. Council has not assessed the materials and finishes for compliance with the Building Act, the Building Fire Safety Regulation, the Building Regulation, the Building Code of Australia, the Queensland Development Code, relevant Australian Standards, fire safety standards or any other relevant requirement of a statutory authority with regard to building work.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained</p>
<p><b>9) Front Fence</b></p> <p>Construct and maintain the proposed front fence erected to the road frontage in accordance with the following:</p> <ul style="list-style-type: none"> <li>- articulated in three different materials</li> <li>- a maximum height of 1.5 metres above the front alignment ground level, with a minimum 50% transparency; or</li> <li>- a maximum height of 1.2 metres above the front alignment ground level, if less than 50% transparency; or</li> <li>- the APPROVED DRAWINGS AND DOCUMENTS.</li> </ul>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained</p>
<p><b>10) Overall Height</b></p> <p>The overall height of the proposed building(s) must be in accordance with the floor and roof levels and overall height shown on the APPROVED DRAWINGS AND DOCUMENTS.</p> <p><b>10(a) Submit Certification</b></p>	<p>While site/operational/building work is occurring and then to be maintained</p> <p>As indicated</p>



<p>Submit to Development Services certification from a registered surveyor confirming that the “as constructed” floor and roof levels and overall height are in accordance with the requirements of this condition.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first.</p>	
<p><b>11) Provide Pedestrian Prioritised Pathway</b></p> <p>Provide a pedestrian prioritised pathway from the street frontage as per the approved plans. The pathway must be differentiated in colour and texture from the driveway surface.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained</p>
<p><b>12) Balconies/Verandahs/Terraces</b></p> <p>No balconies/verandahs/terraces may be enclosed with solid balustrades, solid walls, fixed and/or operable, moveable or adjustable screening unless these features are clearly shown on the APPROVED DRAWINGS AND DOCUMENTS.</p> <p>Note: Any Community Management Statement that may apply to this approval must contain a by-law which reflects the requirements of this condition.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained</p>
<p><b>13) Driveway Material and Finishes</b></p> <p>Provide materials and finishes to the driveway and external carparking surfaces that reduce the visual impact of these areas when viewed from the street. One or a combination of the following must be used:</p> <ul style="list-style-type: none"> <li>- Coloured aggregate;</li> <li>- Concrete pavers; and/or</li> <li>- Banding and patterns in the surface design.</li> </ul>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained</p>
<p><b>14) Screen Air Conditioning and Other Plant Enclosures</b></p> <p>Install and maintain suitable screening to all air conditioning, lift motor rooms, plant and service facilities located at the top of or on the external face of the building. The screening structures must be constructed from materials that are consistent with materials used elsewhere on the facade of the building.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained</p>
<p><b>15) Solar Screening</b></p> <p>Provide solar screening in accordance with the approved DRAWINGS AND DOCUMENTS.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained</p>
<p><b>16) Screening Multiple Dwelling / Dual Occupancy</b></p> <p>Provide screening in accordance with the approved DRAWINGS AND DOCUMENTS and the following:</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever</p>

<p>a) Where any windows of habitable rooms of the proposed dwelling (s) are within 2m at ground floor level or 9m above ground floor level of adjoining neighbouring dwellings' windows to habitable rooms, provide suitable screening in accordance with the following:</p> <ul style="list-style-type: none"> <li>- Sill heights of 1.5m above floor level; or</li> <li>- Fixed obscure glazing in any part of the window below 1.5m above floor level; or</li> <li>- Fixed external screens, or</li> <li>- Fencing to a minimum 1.8m above ground floor level (only applies to overlooking from windows at ground floor level).</li> </ul> <p>b) Where a direct view is available from balconies, landings, terraces and decks of the proposed dwelling(s) into windows, balconies, landings, terraces and decks of an adjacent dwelling house, that view must be screened from floor level to a height 1.5m above floor level.</p> <p>c) Translucent screens, perforated or slatted panels, or fixed louvres that are permanent, durable and fixed and have a maximum of 25% openings, with a maximum opening of 50mm.</p>	<p>comes first, and then to be maintained</p>
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**Ecology**

	<b>Timing</b>
<p><b>17) Natural Assets Local Law (NALL) - Protected Vegetation On Site</b></p> <p>Ensure that all necessary permits under the NALL have been issued to carry out works on protected vegetation on the site.</p> <p>Note: Apply to Development Services for all the necessary permits under the NALL.</p> <p>Timing: Prior to carrying out works on protected vegetation.</p>	<p>As indicated</p>
<p><b>18) Fauna Management - Fauna Spotter Catcher (High Risk)</b></p> <p>Engage a licensed Fauna Spotter Catcher (qualified by the relevant Queensland State Government Authority) to manage the protection and relocation of any fauna prior to and during vegetation/ecological feature clearing.</p> <p><b>18(a) Prior to Vegetation/ Ecological Feature Clearing</b></p> <p>Submit to Development Services certification from the licensed Fauna Spotter Catcher that the site has been fully inspected and any necessary fauna protection measures or relocation procedures have been implemented.</p> <p>Timing: Prior to vegetation/ ecological feature clearing commencing.</p> <p><b>18(b) During Vegetation/ Ecological Feature Clearing</b></p> <p>The licensed Fauna Spotter Catcher must be present on site during all clearing operations to monitor works and to respond to any fauna situations that may arise. If any fauna is identified</p>	<p>Prior to site/operational/building work commencing and then to be maintained</p> <p>As indicated</p> <p>As indicated</p>

<p>in vegetation or ecological features to be removed during clearing operations, work must cease immediately on that vegetation or ecological feature. The licensed Fauna Spotter Catcher must supervise the relocation of any identified fauna prior to vegetation/ ecological feature clearing recommencing.</p> <p>Timing: While vegetation/ ecological feature clearing is occurring.</p> <p><b>18(c) Submit Certification</b></p> <p>Submit to Development Services certification from the licensed Fauna Spotter Catcher that vegetation/ ecological feature clearing was carried out in accordance with this condition.</p> <p>Timing: Prior to issue of Certificate of Classification/ Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>As indicated</p>
<p><b>19) Vegetation Management (Submit Plan)</b></p> <p>Manage vegetation on the site in accordance with a Vegetation Management Plan approved pursuant to this condition.</p> <p><b>19(a) Submit Vegetation Management Plan</b></p> <p>Submit for the approval of Development Services a Vegetation Management Plan prepared by a suitably qualified Ecologist. The Vegetation Management Plan must be in the form of scaled plans and supporting documentation that are in accordance with the approved Environmental Protection Zone and Environmental Covenant Plan by Reel Planning (received 25/05/2018 and amended in red 10/07/2018), the Koala Habitat Plan (received 03/05/2018, amended in red 15/10/2018), the Tree Retention Plan BRSS7248.000-002 Rev E by LandPartners (dated 2/06/2017, amended in red 10/10/2018) and the Bushfire Covenant and Bushfire Management Zone Plan by E2M (ref. no. QEJ18007, dated 18/06/2018, amended in red 10/07/2018), relevant Brisbane Planning Scheme Code and include the following:</p> <ul style="list-style-type: none"> <li>- The extent of the Vegetation Management Plan must include evaluation of all areas including proposed road reserves, external works and development areas</li> <li>- The location and description of existing vegetation including species, botanical name, height, canopy spread and Tree Protection Zones (as per AS 4970-2009)</li> <li>- The location and extent of all site works including all proposed infrastructure and areas of earthworks</li> <li>- Detail design of all civil works must protect significant vegetation (e.g. alternative service alignments, variations to batter slopes and tunnel boring)</li> <li>- Detail design of the proposed communal area and proposed decking showing the extent of works and the protection of adjoining trees (as per AS4970-2009)</li> <li>- The location and description of all vegetation to be retained or to be removed</li> <li>- Methods of physical identification of trees/vegetation to be retained or to be removed</li> <li>- A description of all measures to protect vegetation and</li> </ul>	<p>While site/operational/building work is occurring</p> <p>As indicated</p>

habitat features to be retained during construction, including protective fencing (as per AS 4970-2009), site protocols, etc

- A description of all pruning and tree surgery works (to AS 4373/96) to maintain the health and stability of trees and reduce potential hazards for future site users (e.g. residents and workers)
- The location and extent of storage and stockpile areas for cleared vegetation and site mulch
- A description of all methods to salvage and/or re-use cleared vegetation. Generally, cleared vegetation must be mulched for reuse in landscape/rehabilitation works
- Details of all measures to protect and recover fauna during clearing operations, including; presence of a qualified wildlife officer during clearing operations, pre-clearing inspections, staging and sequence of clearing and recovery procedures.

- All non- juvenile koala habitat trees within the Bushfire Covenant/Bushfire Management Zone and Environmental Covenant/Environmental Protection Zone must be retained.

- If works encroach into the TPZs of any trees identified to be retained, a report from a qualified arborist (minimum AQF level 5 in Arboriculture) is required to demonstrate no negative impacts on the long-term health of the trees.

Timing: Prior to site / operational / building work commencing and prior to or concurrently with any other operational works application.

**19(b) Pre-Start Meeting**

As indicated

When measures are in place to identify and protect vegetation on site (such as tree protection fencing), arrange a pre-start meeting with the Ecologist Development Services.

A qualified Arborist and Fauna Spotter Catcher must attend the pre-start meeting.

Timing: Prior to site / operational / building work commencing.

**19(c) Implement Approved Vegetation Management Plan**

As indicated

Carry out the works in accordance with the approved Vegetation Management Plan.

Timing: While site / operational / building work is occurring.

**19(d) Submit Certification**

As indicated

Submit to Development Services, certification from a qualified Arborist (minimum AQF Level 5 in Arboriculture with a minimum of 5 years' experience), certifying that the work(s) have been carried out in accordance with the approved Vegetation Management Plan.

Timing: Upon completion of each phase of the approved Vegetation Management Plan and prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).

**19(e) Retain and Protect Vegetation**

As indicated

Retain and protect vegetation in accordance with the approved Vegetation Management Plan.

<p>Timing: To be maintained.</p>	
<p><b>20) Bushfire Management</b></p> <p>Manage bushfire risk within the approved Bushfire Management Zone shown on approved Bushfire Covenant and Bushfire Management Zone Plan by E2M (ref. no. QEJ18007, dated 18/06/2018, amended in red 10/07/2018) in accordance with the approved Bushfire Hazard Assessment and Management Plan by E2M (received 25/06/2018, amended in red 10/07/2018) and in accordance with the below.</p> <p><b>20(a) Bushfire Management Zone Set Out</b></p> <p>A Registered Surveyor must survey and peg the approved Bushfire Management Zone.</p> <p>Timing: Prior to site/operational/building work commencing and to be maintained while development is being undertaken (BW or MCU) or while marketing a lot for sale (ROL).</p> <p><b>20(b) Implement Bushfire Management Measures</b></p> <p>Implement the following bushfire management measures within the approved Bushfire Management Zone:</p> <ul style="list-style-type: none"> <li>- Understorey management, i.e. raking or manual removal of leaf litter and bark (i.e. fine fuels) and/or mowing or slashing grass (including removal of cuttings)</li> <li>- No rehabilitation planting within the FFIZ</li> <li>- Removal/pruning of trees, shrubs and the understorey to ensure that vegetation is not located in front of vulnerable sections of the asset(s) such as window features and canopies do not overhang the asset(s).</li> <li>- Exclude habitable buildings and any flammable structures;</li> <li>- Trees and shrubs do not form a continuous canopy</li> <li>- Tree branches within two metres from the ground should be removed and shrubs retention at the base of trees should be minimised so to prevent the transfer of flames from ground fuels to the canopy.</li> <li>- All non-juvenile koala habitat trees shown on the approved Vegetation Management Plan for this site must be retained and replaced when required.</li> </ul> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p> <p><b>20(c) Submit Certification</b></p> <p>Submit certification to Development Services certifying that the bushfire management measures identified in (b) above have been implemented.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use,</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL), and then to be maintained</p> <p>As indicated</p> <p>As indicated</p> <p>As indicated</p>

<p>whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	
<p><b>20(d) Maintain Bushfire Management Measures</b></p> <p>Maintain bushfire management measures identified in (b) above.</p> <p>Timing: To be maintained.</p>	As indicated
<p><b>20(e) Notification to Prospective Purchasers</b></p> <p>Notify all prospective purchasers of proposed lots of the requirements and effects of this condition.</p> <p>Timing: At the time of marketing a lot for sale (ROL).</p>	As indicated

**Landscape Architecture and Open Space Planning**

	<b>Timing</b>
<p><b>21) Landscape the Site - Self Certification</b></p> <p>Landscape the site in accordance with the requirements of this condition.</p> <p><b>21(a) Landscape Plan for Self Certification</b></p> <p>Prepare a detailed Landscape Plan at a scale of 1:100 for all on-site landscape works identified on the approved DRAWINGS AND DOCUMENTS (180516-02- Issue C, 180516-03-Issue B, 180516-04-Issue C, 180516-05- Issue C, 180516-06-Issue C. 180516-07- Issue D, 180516-08-Issue D, 180516-09- Issue B, 180516-10-Issue C, 180516-Issue11; as amended in red 26 September 2018). The plan must be prepared by a registered Landscape Architect and must comply with the relevant Brisbane Planning Scheme Code. The plan must be certified by the registered Landscape Architect using Brisbane City Council Form CC10616 - Landscape Design Certification and the form must be submitted to Development Services.</p> <p>In addition to the requirements listed above, the plan must include the following:</p> <p>Planting</p> <ul style="list-style-type: none"> <li>- The landscape design is to comply with the requirements stipulated under the Bushfire Covenant, Bushfire Management Zone Plan, QEJ18007 (amended in red 10/7/18) dated 18/6/2018 and Bushfire Management conditions</li> <li>- Provide flowering / shade trees within the Manly Road and new road frontages located centrally within the proposed deep planting zones, provided as 45 litre stock or larger, staked and tied</li> <li>- Provide columnar trees at 3.0 metre intervals where possible along site boundaries</li> <li>- Provide one shade tree to each private courtyard centrally located within the proposed deep planting zone that can achieve a minimum canopy diameter of 5m wide and can reach a final height of 7m</li> <li>- Provide columnar shade trees, dense screening shrubs and ground covers along the side boundaries to achieve privacy between adjoining residences and to create a balance between the built-form and natural elements</li> <li>- Provide low shrubs and groundcovers to all landscape areas</li> </ul>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained</p> <p>As indicated</p>

- Provide shade trees to visitor car parking and internal private roads to achieve a minimum 50% shade to hardstand areas
- Provide dense landscape screening consisting of trees, shrubs and groundcovers to buffer the proposed private road to adjoining

#### Amenity

- Ensure appropriate measures are taken to allow the healthy retention of existing vegetation where this is situated outside the building footprint
- Trees required to be retained are documented, protected and integrated into the landscape design in accordance with Australian Standard - AS4970 Protection of trees on development sites and the approved Vegetation Management Plan
- The proposed communal deck area is to comply with the appropriate setbacks to existing protected and retained trees (including the non-juvenile koala habitat trees) and is to be designed to comply with AS4970 Protection of trees on development sites
- Hard surfaces must grade to landscaped areas
- Provide a hose cock for each private ground floor courtyard and to common landscape and recreation area/s
- Ensure easy maintenance access is provided to all planting areas and ensure that the access is safe

#### Containerised Planters

- Clearly identify the location, width and depth of containerised planting areas
- Details of raised planters must demonstrate adequate width, depth and suitability of soil for the proposed planting. Minimum internal depths of planters must be: trees – 1500mm; large shrubs and palms – 800mm; small shrubs and groundcovers – 600mm
- Provide a reticulated drip irrigation system (connected to non-town water source) to all containerised planting areas, with drainage connected to the stormwater system

#### Terraced Retaining Walls

- Terracing of retaining walls in accordance with the relevant Brisbane Planning Scheme Codes. Planting must consist of drought-hardy small trees, medium shrubs and groundcovers planted at densities that, under normal growing conditions, will result in complete surface mulch coverage within 12 months of planting
- Import topsoil to gardens where altered by earthworks, with min 1.0m topsoil depth for trees planted near retaining walls.
- Any proposed retaining wall footings are not to return beneath the proposed planting areas (i.e return strip footings are to occur beneath proposed hard stand areas or alternative solution is to be sought)

#### Specifications

- Provide mulch and soil to meet Australian Standards
- Ensure that soil media is ameliorated to increase its water-holding abilities.

Timing: Prior to building work above ground level commencing.

#### **21(b) Implement Certified Landscape Plan**

As indicated

<p>Carry out the landscaping work in accordance with the above certified detailed Landscape Plan.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first.</p>	
<p><b>21(c) Certify Work</b></p> <p>On completion of the landscaping work, submit to Development Services Brisbane City Council Form CC10613 - Landscape Works Certificate prepared by a registered Landscape Architect or licensed Landscape Contractor to certify the completed landscaping work complies with the certified detailed Landscape Plan.</p> <p>Note: A copy of the as-constructed detailed Landscape Plan must accompany the completed Landscape Works Certificate.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first.</p>	<p>As indicated</p>
<p><b>21(d) Maintain Landscape Work</b></p> <p>Maintain the landscape work generally in accordance with the certified detailed Landscape Plan.</p> <p>Timing: To be maintained.</p>	<p>As indicated</p>

**Pollution**

	<b>Timing</b>
<p><b>22) Acoustic Barrier - General</b></p> <p>Erect a 1.2m high acoustic barrier on the eastern boundary of the internal road between Cluster 3&amp; 4 units. The acoustic barrier must:</p> <ul style="list-style-type: none"> <li>- Be constructed of a material with a minimum surface area density of 10kg/m2</li> <li>- Be constructed of an aesthetically pleasing weather-resistant material such as earth mound, fibre cement, painted or treated timber, brick, concrete or a combination thereof</li> <li>- Have returns at any opening or provide some other means of blocking line of site from source to receiver such that the effectiveness of the barrier is not reduced</li> <li>- Be continuous and gap free.</li> </ul> <p><b>22(a) Certification</b></p> <p>Submit to Development Services certification from an appropriately qualified professional that the constructed acoustic barrier complies with the above requirements.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL), and then to be maintained</p> <p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL), and then to be maintained</p>

**Engineering**

	<b>Timing</b>
<p><b>23) Filling and / or Excavation</b></p> <p>All proposed earthworks must be carried out in accordance with the relevant Brisbane Planning Scheme Codes.</p>	<p>As indicated</p>



Timing: Prior to building work commencing (MCU or BW) or prior to Council's notation of the plan of subdivision (ROL).

**23(a) Submit Earthworks Drawings**

As indicated

Submit for the approval of Development Services earthworks drawings prepared and certified by a Registered Professional Engineer Queensland in accordance with the approved DRAWINGS AND DOCUMENTS, the relevant Brisbane Planning Scheme Codes.

The Earthworks Drawings must include the following:

- The location of any cut and/or fill;
- The quantity of fill to be deposited and finished fill levels;
- Maintenance of access roads to and from the site such that they remain free of all fill material and are cleaned as necessary;
- The existing and proposed finished levels in reference to the Australian Height Datum (including cross-sections or long sections into the adjacent properties);
- Preservation of all drainage structures from the effects of structural loading generated by the earthworks;
- Protection of adjoining properties and roads from ponding or nuisance from stormwater;
- That all vehicles exiting from the site will be cleaned and treated so as to prevent material being tracked or deposited on public roads.

Note:

If the earthworks impact on the road reserve, the Developer must obtain applicable footpath and road permits prior to commencing any works. Such impacts may include footpath occupation, road closures, re-profiling, ground anchors and/or relocation of services. If the excavation has to be stabilised using ground anchors or similar then the submitted plans must show the location of these in relation to all services. The cost of moving services, utilities and assets is the responsibility of the Developer. The permission of the service/utility/asset owner is required.

Timing: Prior to site/operational/building work commencing.

**23(b) Fill Material, Placement, Compaction and Testing**

As indicated

All fill material placed on the site must comprise only natural earth and rock and must be free of contaminants (as defined by Part 3, Division 2, Subdivision 2 Environmental contamination, Section 11 of the Environmental Protection Act) and noxious, hazardous, deleterious and organic materials.

Fill material, placement, compaction and testing must comply with the requirements of Australian Standard - AS 3798, Guidelines on Earthworks for Commercial and Residential Developments.

Timing: While site/operational/building work is occurring.

**23(c) Implement Approved Earthworks Drawings**

As indicated

Construct and maintain the earthworks in accordance with the requirements of AS3798 and the approved earthworks

<p>drawings.</p> <p>Timing: While site/operational/building work is occurring and then to be maintained.</p> <p><b>23(d) Submit As Constructed Drawings</b></p> <p>Submit to Development Services “As Constructed” drawings prepared by a Registered Surveyor.</p> <p>Timing: Prior to building work commencing (MCU or BW) or prior to Council’s notation of the plan of subdivision (ROL).</p> <p><b>23(e) Submit Certification</b></p> <p>Submit to Development Services certification from a Registered Professional Engineer Queensland, confirming that the works have been completed in accordance with the approved earthworks drawings.</p> <p>Submit to Development Services certification from a Registered Professional Engineer Queensland, confirming that all fill material used complies with the quality requirements of this condition and that placement, compaction and testing has been carried out in accordance with AS3798.</p> <p>Timing: Prior to building work commencing (MCU or BW) or prior to Council’s notation of the plan of subdivision (ROL).</p>	<p>As indicated</p> <p>As indicated</p>
<p><b>24) On-site Erosion (high risk)</b></p> <p>Minimise on-site erosion and the release of sediment or sediment laden stormwater from the site at all times.</p> <p>Timing: While site works are occurring and until all exposed soil areas are permanently stabilised against erosion.</p> <p><b>24(a) Prepare ESC Plan and Program</b></p> <p>Prepare Erosion and Sediment Control (ESC) Plan(s) &amp; Program, and provide design certificates, inspection certificates and a schedule of registered business names for the site in accordance with the relevant Brisbane Planning Scheme Codes.</p> <p>The plan(s) and program must be prepared by a Certified Professional in Erosion and Sediment Control (CPESC) or Registered Professional Engineer Qld (RPEQ) with suitable qualifications and experience in erosion and sediment control and must be certified by a CPESC.</p> <p>Documentary evidence demonstrating appropriate qualifications in erosion and sediment control must be provided to the Council upon request.</p> <p>At least 10 days prior to either the pre-start meeting or commencement of site works, submit copies of all required documentation, including design certificates to Council’s Compliance and Regulatory Services at:  <a href="mailto:CARS-ESC@brisbane.qld.gov.au">CARS- ESC@brisbane.qld.gov.au</a>.</p> <p>Timing: Prior to pre-start meeting or commencement of any site works and to be maintained until all exposed soil areas are permanently stabilised against erosion.</p>	<p>As indicated</p> <p>As indicated</p>

<p><b>24(b) Attend a Pre-Start meeting</b></p> <p>Arrange and attend a pre-start meeting with an Erosion &amp; Sediment Control Officer from Council's Compliance and Regulatory Services. Requests are to be made when submitting copies of all required documentation, including design certificates to: <a href="mailto:CARS-ESC@brisbane.qld.gov.au">CARS-ESC@brisbane.qld.gov.au</a></p> <p>Timing: Prior to commencement of any site works causing exposure of soil.</p> <p><b>24(c) Implement Certified ESC Plan and Program</b></p> <p>Implement the certified ESC plan(s) and Program to maintain compliance with all parts of the relevant Brisbane Planning Scheme Codes, while site works are occurring and until all exposed soil areas are permanently stabilised against erosion. The plan(s), program, design certifications &amp; inspection certifications must be available on site at all times for inspection by Council officers until all exposed soil areas are permanently stabilised against erosion. Minimise on-site erosion and the release of sediment or sediment laden stormwater from the site at all times.</p> <p>Timing: While site works are occurring and until all exposed soil areas are permanently stabilised against erosion.</p>	<p>As indicated</p> <p>As indicated</p>
<p><b>25) Information Signage</b></p> <p>Erect an "Information Sign" on the subject property in accordance with Council's general requirements for signage and in accordance with the requirements outlined below:</p> <p>a) The sign should provide a brief description of the development proposed;</p> <p>b) The sign is to list the name, postal and/or email address and a contact telephone number for the following parties (where relevant) that are undertaking work on the site:</p> <p>Developer; Project Coordinator; Architect/Building Designer; Builder; Civil Engineer; Civil Contractor/s; and Landscape Architect;</p> <p>c) The lettering on the sign is to be at least 25 millimetres in height, be of regular weight and in sentence case;</p> <p>d) The sign is to be a minimum size of 1,200 millimetres by 900 millimetres;</p> <p>e) The maximum area of the sign is to be 2.0m<sup>2</sup>;</p> <p>f) The sign is to be positioned as follows:</p> <p>located centrally along each road frontage of the site to Manly Road; located on or within 1.5 metres of the road frontage; mounted at least 300 millimetres above ground level; and clearly visible from the street for a pedestrian;</p> <p>g) The sign is to contain no commercial or corporate advertising</p>	<p>As indicated</p>

<p>other than the name, logo or slogan of the parties outlined in part (b) of this condition;</p> <p>h) The sign is to be non-illuminated; and</p> <p>i) Both the sign and the supporting structure are to be made of weatherproof material and to be properly maintained at all times;</p> <p>Timing: Prior to site works commencing and then to be maintained until completion of the development for all stages.</p>	
<p><b>26) Engineering Pre-Start Meeting</b></p> <p>To arrange an engineering pre-start meeting with Development Service to comply with a condition of this approval, request letter to be emailed to DA- ComplianceEngineering@brisbane.qld.gov.au including the following details:</p> <ul style="list-style-type: none"> <li>- Site address, Development Approval number (A00) and relevant stage/s (if appropriate);</li> <li>- List all Development Approval conditions requiring compliance prior to site/operational/building work commencing and demonstrate compliance with those conditions;</li> <li>- Payee details (Name and address) for the issue of a development "Compliance and Inspection Fee" quote;</li> <li>- Superintendent (Consultant) name, address and telephone number (including after-hours contact);</li> <li>- Contractor/s and major Sub-Contractor/s, name, address and telephone number (including after-hours contact);</li> <li>- Intended date of commencement of works.</li> </ul> <p>Note:</p> <ul style="list-style-type: none"> <li>- <b>All operational works/compliance assessment applications are to be approved prior to requesting the pre-start meeting.</b></li> <li>- A minimum 5 working days' notice is required.</li> <li>- Compliance and Inspection fee to be paid prior to undertaking pre-start meeting.</li> <li>- All operational works/compliance assessment approved documents and the Development Approval package (conditions and plans) must be available at the pre-start meeting.</li> <li>- Refer to Council's Infrastructure <i>Installation and Construction Requirements Manual</i> for full details of the notification, meeting, inspection and liaison requirements.</li> </ul> <p>Timing: Prior to site/operational/building work commencing.</p>	<p>As indicated</p>
<p><b>27) Retaining Walls</b></p> <p>Design and construct all retaining walls and associated fences, in accordance with the relevant Brisbane Planning Scheme Codes and including the following:</p> <ul style="list-style-type: none"> <li>- All retaining walls including the footings, must be located wholly within the property boundary of the site where works are occurring</li> <li>- Retaining walls to stabilise excavation must be set back off property boundaries to accommodate subsoil drainage without encroachment into the neighbouring property. This set back may vary depending on the height, structure and design of the retaining wall, including loadings from neighbouring properties, and to provide a surface drain along the top of the retaining wall</li> <li>- Retaining walls that are greater than 1.0m in height must be vertically and horizontally tiered by a ratio of 1:1 unless an alternative has been approved by Development Services</li> </ul>	<p>Prior to site/operational/building work commencing</p>

<ul style="list-style-type: none"> <li>- Runoff from surface drains and subsoil drainage associated with the retaining wall must be collected and conveyed to a lawful point of discharge and must not cause any ponding, nuisance or disturbance to adjacent property owners</li> <li>- Retaining walls in excess of 1.0m in height must be designed and certified by a Registered Professional Engineer Queensland</li> <li>- Retaining walls facing onto Council property (including the road reserve and parkland) must not be constructed from timber.</li> </ul>	
<p><b>27(a) Certification of Retaining Walls</b></p> <p>For retaining walls over 1.0m in height, obtain certification from a Registered Professional Engineer Queensland that the design and construction of the retaining wall and ancillary drainage is in accordance with this condition.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	As indicated
<p><b>28) Construction Management Plan - Major</b></p> <p>Carry out development in accordance with a Construction Management Plan prepared in accordance with the requirements of this condition.</p> <p><b>28(a) Submit Construction Management Plan</b></p> <p>Submit for the approval of Development Services a Construction Management Plan for the demolition (where in a Centre zone, the Mixed use zone or where the demolition is otherwise assessable development), excavation and construction phases of the approved development. Separate Construction Management Plans may be appropriate for the individual components. The Construction Management Plan must be in accordance with the relevant Brisbane Planning Scheme Codes, Workplace Health and Safety Legislation, Environmental Protection Act, the requirements of any Concurrence Agency, any other relevant legislative requirements and the following.</p> <p>The Construction Management Plan must be supported by Permits or written approvals from the relevant Council sections or other body listed below (where applicable to the Plan) to ensure all potential impacts to Council and other infrastructure have been addressed:</p> <ul style="list-style-type: none"> <li>(i) Work Zones / Temporary Road Closures / Taxi Ranks - (Congestion Reduction Unit, Planned Incident Management / Temporary Road Closures);</li> <li>(ii) Full/Partial Footway-Footpath Closures – (Brisbane Infrastructure – Congestion Reduction Unit);</li> <li>(iii) Street Lighting - (Brisbane Infrastructure - Asset Services-City Lighting);</li> <li>(iv) City Cycle bike stations and JCDecaux Advertising Signage (including obstruction to sight lines for such advertising - owned by JCDecaux)- (Brisbane Infrastructure - Transport Planning and Strategy, Contract Management section);</li> <li>(v) Street Furniture (excluding bus stops) - (Brisbane Infrastructure, Transport Network Operations, Roads and</li> </ul>	<p>While site/operational/building work is occurring</p> <p>As indicated</p>

Drainage);

- (vi) Waste Bins - (Brisbane Infrastructure, Waste Service);
- (vii) Bus Stops/Shelters - (Brisbane infrastructure - Transport Planning and Strategy-Strategic Planning; and Brisbane Transport - Network Planning & Bus Operations);
- (viii) Street Trees - (Brisbane Infrastructure - Asset Services - Arboriculture);
- (ix) Parking Meters/Spaces - (Brisbane Infrastructure - City Parking);
- (x) Traffic Signals - (Brisbane Infrastructure - Traffic Signals Operations);
- (xi) Stormwater Gullies/Pits etc - (Brisbane Infrastructure - Roads and Drainage);
- (xii) Other service providers - (e.g. Energex, Telstra, Optus, Queensland Urban Utilities, AGL);
- (xiii) Erect Scaffolding/Hoarding Permit, (Queen Street Mall, Reddacliff Place, Chinatown Mall and Brunswick Street Mall) - (City Planning and Sustainability – City Malls Management, City Planning and Economic Development);
- (xiv) Vehicle Access Permits, (Queen Street Mall, Reddacliff Place, Chinatown Mall and Brunswick Street Mall) - (City Planning and Sustainability - City Malls Management, City Planning and Economic Development).

The construction management plan must address the following:

- (i) Provision for pedestrian management including alternative pedestrian routes, past or around the site;
- (ii) Location of and impacts on any Council or other authority's assets on or external to the site;
- (iii) Temporary vehicular access points and frequency of use;
- (iv) Provision for loading and unloading materials including the location of any remote loading sites;
- (v) Location of materials, structures, plant and equipment to be stored or placed on the construction site;
- (vi) How materials are to be loaded/unloaded and potential impacts on existing street trees;
- (vii) Location of proposed external hoardings and gantries, (with clearances to street furniture and other footpath assets, (e.g. CityCycle bike stations);
- (viii) Employee and visitor parking areas (if provided);
- (ix) Anticipated staging, programming;
- (x) Provision for fire exit routes for other uses on the subject or adjoining sites;
- (xi) Notify Development Services of construction considered necessary to be conducted out of normal business hours (where normal hours are defined as Monday to Saturday between 6:30am and 6:30pm excluding public holidays).
- (xii) The details identified in (xi) above must be accompanied by a consultation strategy for seeking, recording and addressing the impacts of dust, noise and vibration upon adjoining and nearby properties.

Notes:

- Approval for footpath closures and/or temporary vehicle access will only be considered where it can be demonstrated that no other reasonable alternative can be provided due to site constraints and that safety, capacity and/or operation of public transport, vehicle and pedestrian traffic are not compromised.
- Proposed arrangements utilising any part of the road reserve for construction related activities, for example, on-street work

zones, overhead gantries, or where paid parking spaces are impacted upon or pedestrian diversions proposed are subject to separate application fees and rental fees.

- The approved Construction Management Plan will not allow the carrying out of specific work activities for any phase of construction outside of normal hours.

Timing: Prior to site/operational/building work commencing.

**28(b) Construction Management Plan - Pre- Start Meeting**

As indicated

Arrange and attend a pre-start meeting with Development Services.

Timing: Prior to site/operational/building work commencing.

**28(c) Construction Management Plan - Associated Activities in Road Reserve**

As indicated

Obtain relevant approvals to carry out any works required by the approved Construction Management Plan, including the following, within the road reserve:

- Temporary lane closures;
- Restricted work zones (subject to relaxation of clearway hours and resolution of alternative kerb side allocation including bus zones);
- Overcoming clearway restrictions;
- Gantry erection.

**Notes:**

- Applications will be assessed on the basis of road and footpath network operating conditions prevailing at the time. Council will consider impacts of other construction works or events that occur during the life of the permit.
- All fees must be paid in full prior to any permit being granted by Council. Council may revoke any permits at any time for non-compliance with requirements or if it considers that safety, capacity and /or operation of public transport, vehicle and pedestrian traffic are likely to be compromised during the construction phase.

Timing: Prior to site/operational/building work commencing.

**28(d) Construction Management Plan - Documentation on Site**

As indicated

Legible copies of the approved Construction Management Plan and current permits must be kept on site and be made available on request at all times.

Timing: While site/operational/building work is occurring

**28(e) Construction Management Plan - Works to be Performed Out of Hours**

As indicated

Obtain approval from Development Services for any work that is to be undertaken outside of normal business hours - 6:30am to 6:30pm, Monday to Saturday.

Timing: Prior to site/operational/building work commencing.

**28(f) Implement Approved Construction Management Plan**

As indicated

<p>Carry out the development in accordance with the approved Construction Management Plan.</p> <p>Timing: While site/operational/building work is occurring.</p>	
<p><b>29) Protect Existing Infrastructure</b></p> <p>Where there is existing infrastructure in the vicinity of the proposed work, the new work must not damage or compromise the working ability of the existing infrastructure. Where alterations to public utility mains, existing mains, services or installations are necessitated by the development, prior to alterations commencing, the developer must notify Council or the relevant infrastructure provider and obtain agreement to the alterations. The developer must meet the costs of the alterations. The alterations must be carried out in accordance with the relevant Brisbane Planning Scheme Codes or infrastructure providers requirements.</p> <p><b>29(a) As Constructed Drawings</b></p> <p>Where alterations to existing infrastructure are required, submit to Development Services "As Constructed" drawings showing all new and/or rectification works and an asset register, prepared by a Registered Professional Engineer Queensland.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p> <p><b>29(b) Submit Certification</b></p> <p>Where alterations to existing infrastructure are required, submit to Development Services certification from a Registered Professional Engineer Queensland, confirming that the alterations have been completed in accordance with the relevant Brisbane Planning Scheme Codes and any other relevant infrastructure requirements.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>While site/operational/building work is occurring</p> <p>While site/operational/building work is occurring</p> <p>While site/operational/building work is occurring</p>
<p><b>30) Repair Damage to Kerb, Footpath Or Road</b></p> <p>Repair any damage to the existing kerb and channel, footpath or roadway (including removal of concrete slurry from footways, roads, kerb and channel, stormwater gullies and drainlines) and re-instate existing traffic signs and pavement markings that have been removed or damaged during any works carried out in association with the approved development.</p> <p><b>30(a) Interim Repairs</b></p> <p>If at any time during the construction phase of the approved development, damage to the existing kerb and channel, footpath or roadway creates unsafe, unreasonable and/or not fit for purpose conditions as assessed by Council, interim repairs must be undertaken as directed by Asset Services.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p> <p>As indicated</p>



<p>Note: Any interim repairs required to be undertaken shall not be considered to satisfy the requirements of this condition for the permanent repair of the infrastructure prior to the issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p> <p>Timing: While site / operational / building works is occurring</p>	
<p><b>31) Remove Redundant Drainage Outlets</b></p> <p>Remove any redundant drainage outlets from the kerb and channel including any associated pipe work across the footway and reinstate the kerb and channel and the footway area in accordance with the relevant Brisbane Planning Scheme Codes.</p> <p>Note: Guidance for the preparation of drawings and/or documents to comply with this condition is provided in the Brisbane Planning Scheme Policies.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>
<p><b>32) Access, Grades, Manoeuvring, Carparks, Signs and Line Marking</b></p> <p>Construct access, parking and manoeuvring for vehicles on site in accordance with the relevant Brisbane Planning Scheme Codes, as indicated on the approved DRAWINGS AND DOCUMENTS, including the following:</p> <ul style="list-style-type: none"> <li>i. A pavement of minimum Local road standard or equivalent surface material (including associated drainage) to the area on which motor vehicles will be driven and/or parked.</li> <li>ii. Manoeuvring on site for a Refuse Collection Vehicle and for the loading and unloading of vehicle(s).</li> <li>iii. Parking on the site for 74 resident/tenant cars, 6 visitor cars, including 1 parking space for people with disabilities and for the loading and unloading of vehicle(s) within the site</li> <li>iv. Provide 37 number of secure bicycle parking spaces.</li> <li>v. An appropriate area for the storage and collection of refuse, including recyclables, in a position which is accessible to service vehicles on the site.</li> <li>vi. The internal paved areas must be signed and delineated in accordance with the approved drawings and Manual of Uniform Traffic Control Devices - Queensland Department of Transport and Main Roads - Transport Operations (Road Use Management) Act 1995.</li> </ul> <p><b>32(a) Submit certification</b></p> <p>Submit to Development Services, certification from a Registered Professional Engineer Queensland, that the above requirements have been implemented in accordance with this condition.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained</p> <p>As indicated</p>
<p><b>33) Refuse Collection - On Site</b></p> <p>Provide for the installation and collection of waste/recycling bins by Brisbane City Council's Waste Services.</p>	<p>At all times</p>

<p><b>33(a) Arrange Refuse Collection</b></p> <p>Arrange for the installation of waste/recycling bins by Brisbane City Council's Waste Services and for the subsequent collection of waste including recycling from the site.</p> <p>Timing: A minimum of four weeks prior to the commencement of use and then to be maintained.</p> <p><b>33(b) Notify Future Owner</b></p> <p>The owner must notify any future owner/body corporate that the development has been approved on the basis that an indemnity must be provided for refuse collection vehicles to enter the property.</p> <p>Timing: At time of a change of ownership.</p> <p><b>33(c) Indemnify Council</b></p> <p>The owner and any subsequent owner must indemnify Council and its agents in respect of any damage to the pavement and other driving surfaces.</p>	<p>As indicated</p> <p>As indicated</p> <p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained</p>
<p><b>34) Refuse Storage - On Site Bulk Collection</b></p> <p>Provide a roofed and screened waste enclosure to accommodate the type and quantity of bulk waste/recycling bins required to service the development.</p> <p>Bins must be located in an area which allows them to be manoeuvred from the bin storage area to the designated internal collection point.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained</p>
<p><b>35) Site Drainage - Major</b></p> <p>Provide an internal drainage system to collect stormwater run-off from all proposed lots, roofed and developed surface areas and any run-off onto the site from adjacent areas and convey the collected run-off to a lawful point of discharge, in accordance with the relevant Brisbane Planning Scheme Codes.</p> <p>Note: The stormwater design must ensure the stormwater runoff from the site does not adversely impact on flooding or drainage (peak discharge and duration for all storm events up to the 1% AEP event) of properties that are upstream, downstream or adjacent to the site. Some developments may require implementation of one or more mitigation measures to offset adverse impacts, (e.g. stormwater detention, rainwater tanks, and upgrade of stormwater drainage infrastructure).</p> <p>Note: Guidance for the preparation of drawings and/or documents to comply with this condition is provided in the Brisbane Planning Scheme Policies.</p> <p><b>35(a) Submit Site Drainage Drawings</b></p> <p>Submit and obtain approval from Development Services, site drainage drawings and engineering calculations, prepared and certified by a Registered Professional Engineer Queensland, in accordance with the relevant Brisbane Planning Scheme Codes.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p> <p>As indicated</p>

<p>Timing: Prior to site/operational/building work commencing</p> <p><b>35(b) Implement Approved Drawings</b></p> <p>Carry out the works in accordance with the approved site drainage drawings.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL), and then to be maintained.</p> <p><b>35(c) Submit As Constructed Drawings</b></p> <p>Submit to Development Services "As Constructed" drawings prepared by a Registered Professional Engineer Queensland.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p> <p><b>35(d) Submit Certification</b></p> <p>Development Services certification from a Registered Professional Engineer Queensland, confirming that the works have been completed in accordance with the above approved site drainage drawings.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>As indicated</p> <p>As indicated</p> <p>As indicated</p>
<p><b>36) Ponding of Stormwater</b></p> <p>Carry out the approved development to ensure that adjoining properties and roads are protected from ponding or nuisance from stormwater as a result of the works.</p> <p>Notes: If remedial works are necessary to comply with this condition, prior approval must be obtained from Development Services.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>
<p><b>37) Stormwater Quality (MCU)</b></p> <p>Manage stormwater quality in accordance with this condition.</p> <p><b>37(a) Implement Stormwater Quality Management</b></p> <p>Implement the stormwater quality treatment strategy outlined within the APPROVED DRAWINGS AND DOCUMENTS including the Stormwater Management Plan B17040CR002 dated 12 March 2018 and any engineering drawings and documents approved pursuant to conditions contained in this development approval. Where a proprietary stormwater quality improvement device has been used to meet the water quality objectives, ensure the device has been approved by Brisbane City Council for use in achieving the water quality targets and meets the</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained</p> <p>As indicated</p>

required manufacturers specifications (in terms of number and size of units and any pre- treatment requirements).

Note: This condition does not require any further approval from Council.

Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), and then to be maintained.

**37(b) Water Quality Maintenance Management Plan**

As indicated

Prepare and implement a Water Quality Maintenance Management Plan in accordance with the Water by Design 'WSUD Technical Design Guidelines for South East Queensland'. The plan must be prepared and certified by a Registered Professional Engineer Queensland.

Note: This condition does not require any further approval from Council.

Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), and then to be maintained.

**37(c) Submit Certification**

As indicated

Submit to Development Services certification from a Registered Professional Engineer Queensland confirming that the stormwater quality treatments strategy required pursuant to part (a) of this condition has been implemented and where a proprietary stormwater quality improvement device has been used to meet the water quality objectives, the device has been approved by Brisbane City Council for use in achieving the water quality targets and meets the required manufacturers specifications (in terms of number and size of units and any pre-treatment requirements).

Note: Manufacturers that have approved devices by Brisbane City Council will be able to provide evidence of Council approval for use.

Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW).

**37(d) Maintain Management Plans**

As indicated

Maintain the certified Water Quality Maintenance Plan and the stormwater quality treatment strategy required pursuant to part (a) of this condition. Include the Water Quality Maintenance Plan in any building management strategy, building management statement or community management statement.

Timing: To be maintained.

**38) Service Conduits and Mains**

Provide and install all service conduits and meet the cost of any alterations to public utility mains, existing mains, services or

Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever

<p>installations that are required to carry out the approved development. These works must be in accordance with the relevant Brisbane Planning Scheme Codes, and include the following, where applicable:</p> <ul style="list-style-type: none"> <li>- the provision of all services and/or conduits along the full length of any rear allotment access or access easement.</li> <li>- the breaking and/or relocation of any existing sewer combine drains.</li> <li>- the relocation of any fire hydrant and/or valves from the development's vehicular footway crossings.</li> <li>- the retention and/or relocation of any existing foul water lines that currently exist within the site.</li> </ul> <p>Note: Applicants must liaise with the appropriate service authorities. Typical underground services and/or conduits to be constructed include power, phone, telecommunications, sewer (including private combine drains) stormwater and gas, if applicable.</p>	<p>comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>
<p><b>38(a) Submit As Constructed Drawings</b></p> <p>Submit to Development Services "As Constructed" drawings, including an asset register, prepared by a Registered Professional Engineer Queensland.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>As indicated</p>
<p><b>38(b) Submit Certification</b></p> <p>Submit to Development Services certification from a Registered Professional Engineer Queensland, confirming that the works have been completed in accordance with the requirements of this condition.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>
<p><b>39) Telecommunications</b></p> <p>Submit to Development Services, certification from an authorised telecommunications carrier/contractor, that the following works and infrastructure have been undertaken and installed in accordance with telecommunications industry standards:</p> <ul style="list-style-type: none"> <li>a) Provide telecommunications to the subject buildings, lead-in conduits and equipment space in a suitable location within the buildings, to suit the carrier of choice.</li> <li>b) If new pits and conduit infrastructure are required to be installed within the road reserve fronting the site, it must be suitably sized to cater for future installation of fibre optic cables.</li> </ul>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>
<p><b>40) Agreement with Electricity Supplier</b></p> <p>Submit to Development Services, evidence of an agreement with an electricity supplier to provide necessary services to the</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior</p>

<p>development in accordance with the relevant Brisbane Planning Scheme Codes.</p> <p>Where development is proposed within an established area of overhead electricity supply and the electricity supplier determines that a property pole is the appropriate solution to supply electricity to the development, the developer must be responsible for the installation of the property pole(s).</p> <p>In the above circumstances, submit to Development Services, certification from the developer's electrical consultant confirming that the above installation has been completed in accordance with the relevant AS/NZS Standards and the <i>Queensland Electrical Connection and Metering Manual</i>.</p>	<p>to Council's notation of the plan of subdivision (ROL)</p>
<p><b>41) Construct Private Internal Fire Main and Hydrant</b></p> <p>Construct a private internal fire main and fire hydrant(s) to serve the development. The installation is to satisfy requirements for internal hydrants within the current version of AS2419.</p> <p>Notes:</p> <ul style="list-style-type: none"> <li>- The private fire main shall be supplied from a Queensland Urban Utilities (QUU) water service and meter with detector check valve bypass. This water service requirement is to be included in the development's Water Approval.</li> <li>- Private fire hydrants are required where any point of a possible building envelope is more than 90 metres (when the distance is measured around the perimeter of the building envelope) from a QUU hydrant.</li> <li>- Ownership and maintenance requirements for the private main and hydrant shall lie with a single legal entity, which represents the owner(s) of any property served by the private main and hydrant. This legal entity is to be to the satisfaction of QUU for billing purposes and is to be a requirement of the development's Water Approval.</li> <li>- This legal entity shall remain in place for the life of the development, be responsible for the cost of water consumption charges at the QUU boundary meter, and be responsible for maintaining the private fire main and hydrant, for the life of the development.</li> <li>- The responsibilities of legal entity shall remain in effect on transfer of the property title.</li> <li>- The private main and hydrant shall be located in a 4 metre wide easement to allow 24 hour access for fire and rescue, and maintenance vehicles.</li> <li>- A minimum clear area of 10 metres by 4 metres shall be provided at any hydrant.</li> <li>- Hydrants shall be pillar type.</li> <li>- Flushing points shall be provided on the private main.</li> <li>- Any concrete pavement slabs placed over the main shall be a maximum 0.6 metres square.</li> </ul> <p><b>41(a) Submit Hydraulic Plan</b></p> <p>Submit detailed hydraulics plans showing the design of the work and obtain a Compliance Permit for regulated work (Plumbing and Drainage Installation) under the Plumbing and Drainage Act 2002 from the Manager, Plumbing Services Group.</p> <p>Timing: Prior to site/operational/building work commencing.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p> <p>As indicated</p>

<p><b>41(b) Implement Approved Plans</b></p> <p>Construct the works in accordance with the approved hydraulics plan. Obtain a Compliance Certificate for the constructed works from the Manager, Plumbing Services Group.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	As indicated
<p><b>41(c) Submit Documentation</b></p> <p>Submit the following documentation to Development Services:</p> <ul style="list-style-type: none"> <li>- Submit a copy of the Compliance Certificate from the Manager, Plumbing Services Group</li> <li>- Submit a copy of the QUU Connection Certificate, indicating all requirements of the development's Water Approval have been satisfied.</li> <li>- Submit an undertaking that future and potential property owners will be advised of the private fire fighting infrastructure, who owns that infrastructure and the maintenance responsibilities for the infrastructure.</li> </ul> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	As indicated
<p><b>41(d) Notify Future Owners</b></p> <p>The developer must notify all future and potential property owners of the private fire main and hydrants, and ownership responsibilities for the private fire main and fire hydrant.</p> <p>Timing: To be maintained.</p>	As indicated
<p><b>42) Permanent Vehicle Crossover</b></p> <p>Provide an 8.0 metre wide Type B2 permanent vehicle crossover to the southern frontage of Oasis Close/New Road frontage, and a 6.0 metre Type B2 permanent vehicle crossover to the northern frontage of Oasis Close/New Road frontage of the site, in accordance with the relevant Brisbane Planning Scheme Codes and located as shown on the approved DRAWINGS AND DOCUMENTS.</p> <p>Note: No further permits are required to carry out these works and street trees must not be removed without prior approval from Asset Services.</p>	Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)
<p><b>43) Redundant Crossover</b></p> <p>Remove the redundant existing vehicle crossing(s) on the frontage (s) of the site and reinstate the kerb and channel, road pavement, footways and footpaths in accordance with the relevant Brisbane Planning Scheme Codes.</p>	Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)

### Standard Advice

	<b>Timing</b>
<p><b>44) Further Development Permit required</b></p> <p>This Development Approval to carry out building work made assessable under the planning scheme for Brisbane does not include an assessment of building work against the requirements of the Building Act and does not permit building work to occur unless, prior to the commencement of any building work, a Development Permit(s) to carry out assessable building work under the Building Act has been issued.</p>	As indicated
<p><b>45) Construction Noise and Dust Emissions</b></p> <p>Pursuant to the Environmental Protection Act 1994, all development involving the emission of noise and dust from building and/or construction activities, must ensure that the emissions are in accordance with the requirements of the Act.</p> <p>The Environmental Protection Act 1994 prescribes that:</p> <p>1. A person must not carry out building work in a way that makes an audible noise-</p> <ul style="list-style-type: none"> <li>- on a business day or Saturday, before 6.30a.m. or after 6.30p.m;</li> <li>or</li> <li>- on any other day, at any time.</li> </ul> <p>2. The reference in subsection (1) to a person carrying out building work-</p> <ul style="list-style-type: none"> <li>- includes a person carrying out building work under an owner-builder permit; and</li> <li>- otherwise does not include a person carrying out building work at premises used by the person only for residential purposes.</li> </ul> <p>Note: A request can be made to work outside of these hours by submitting an Environmental Management Plan for assessment and obtaining an endorsed decision from the Environmental Management delegate Development Services.</p>	As indicated
<p><b>46) Currency Period</b></p> <p>The currency period for this development approval is stated in the Decision Notice.</p> <p>The currency period for this development approval is expressed as a date.</p> <p>This development approval lapses at the end of the currency period (the date stated in the decision notice) if:</p> <ul style="list-style-type: none"> <li>- for a material change of use, the first change of use does not happen;</li> <li>- for reconfiguring a lot, the plan of subdivision for the reconfiguration is not given to Council; or</li> <li>- for any other development (including building work and operational work), the development does not substantially start.</li> </ul> <p>The currency period is determined by Council pursuant to section 85 of the Planning Act 2016.</p>	As indicated
<p><b>47) Advice</b></p> <p>Please note that the information contained in this section under the heading Standard Advice has been provided as advice only and does not form part of the development approval conditions. This</p>	As indicated



<p>information has been provided to advise of other obligations under state legislation or local laws that may require action to be undertaken prior to commencing the activity approved by this development approval.</p>	
<p><b>48) Cultural Heritage</b></p> <p>Aboriginal cultural heritage is protected under the Aboriginal Cultural Heritage Act 2003 This Act establishes a cultural heritage duty of care and in section 23(1) mandates that a person who carries out an activity must take all reasonable and practicable measures for ensuring activities are managed to avoid or minimise harm to Aboriginal cultural heritage. The Duty of Care Guidelines gazetted pursuant to the Aboriginal Cultural Heritage Act 2003 provide guidance on identifying and protecting Aboriginal cultural heritage to fulfil the duty of care.</p> <p>If you are unsure of your obligations contact the relevant Queensland State Government Department (Department of Aboriginal and Torres Strait Islander Partnerships).</p>	<p>As indicated</p>
<p><b>49) Water and Wastewater</b></p> <p>Services for water and wastewater (sewerage) are no longer under the jurisdiction of Brisbane City Council. Authorisation to connect the approved development to the water/wastewater networks and for property service connections requires a Water Approval under the South-East Queensland Water (Distribution and Retail Restructuring) Act 2009. Any necessary Water Approval must be obtained from the relevant distributor- retailer (currently operating as Queensland Urban Utilities for the Brisbane City Council area).</p> <p>For the purpose of compliance assessment of a subdivision plan pursuant to Schedule 18 of the Planning Regulation 2017 (whether in relation to a development permit for Reconfiguring a Lot or a Building Format Plan subsequent to a development permit for a Material Change of Use), documentary evidence, issued by the relevant distributor-retailer, must be provided to Council to verify that the conditions of any necessary Water Approval under the South-East Queensland Water (Distribution and Retail Restructuring) Act 2009, have been complied with.</p>	<p>As indicated</p>
<p><b>50) Damage to Trees on Adjoining Lots</b></p> <p>Please note that any damage caused to vegetation on adjoining lots as a result of exercising this development approval may result in civil action.</p>	<p>As indicated</p>
<p><b>51) Fire Ant Movement Controls</b></p> <p>To prevent the spread of fire ants, the Queensland Government has implemented movement controls in areas of Queensland (biosecurity zones) where this pest species has been detected. These controls apply to individuals and commercial operators, and restrict the movement of materials that could carry fire ants which include soil, turf, potted plants, mulch, baled hay or straw, animal manures, mining or quarry products.</p> <p>Breaches of these controls can potentially impact the community,</p>	<p>As indicated</p>

economy and the environment. Penalties for non-compliance with movement controls within fire ant biosecurity zones apply under the Biosecurity Act 2014.

If you are unsure of your obligations contact the relevant Queensland State Government Department (Biosecurity Queensland, Department of Agriculture and Fisheries).

Permit to Which These Conditions Relate:	DA - PA - Material Change of Use
Activity(ies):	Dwelling House
Stage:	

**General/Planning Requirements**

	<b>Timing</b>
<p><b>52) Approved Drawings and Documents</b></p> <p>A legible copy of the Council approved DRAWINGS AND DOCUMENTS and the Development Approval Package must be maintained on site and kept available for inspection by site workers and Council officers.</p> <p>Note: This condition is imposed to ensure compliance with the conditions of development approval.</p>	While site/operational/building work is occurring
<p><b>53) Carry Out the Approved Development</b></p> <p>Carry out the approved development generally in accordance with the approved DRAWINGS AND DOCUMENTS.</p> <p>Note. This development approval may include the location of fences, retaining walls and/or external walls of buildings on the boundary of a lot. This approval does not imply permission to enter neighbouring properties to carry out the construction (including associated drainage and earthworks) or maintenance activities. Permission to enter neighbouring properties must be obtained from relevant property owners.</p>	While site/operational/building work is occurring and then to be maintained
<p><b>54) Complete All Building Work</b></p> <p>Complete all building work associated with this development approval, including work required by any of the conditions included in the Development Approval Package. Such building work must be carried out generally in accordance with the approved DRAWINGS AND DOCUMENTS, and, where the building work is assessable development, in accordance with a current development approval.</p>	Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL), and then to be maintained
<p><b>55) Maintain the Approved Development</b></p> <p>Maintain the approved development generally in accordance with the approved DRAWINGS AND DOCUMENTS, and any relevant Council engineering or other approval required by the conditions.</p>	To be maintained
<p><b>56) Commencement of Use</b></p> <p>The Dwelling House must not commence use until all conditions relating to the ROL 1 into 2 lots including new road and access easement component have been complied with and the Plan of Survey has been Registered with the State's Titles Office.</p> <p>Timing: When all conditions relating to the earlier stage have been complied with and the Plan of Survey has been registered with the State's Titles Office.</p>	As indicated

**Architecture**

	<b>Timing</b>
<p><b>57) External Details</b></p> <p>External details of the building, facade treatment and external materials, colours and finishes must be consistent with the approved DRAWINGS AND DOCUMENTS.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained</p>
<p><b>58) Overall Building Height - House</b></p> <p>The overall height of the constructed building(s) must be in accordance with this condition:</p> <p><b>58(a) Construct the development</b></p> <p>Construct the development in accordance with the floor levels and maximum overall height shown on the approved DRAWINGS AND DOCUMENTS.</p> <p>Timing: While building work is occurring and then to be maintained</p> <p><b>58(b) Submit certification</b></p> <p>Where the building height is within 0.5 metres of the maximum overall height at any point, submit to Development Assessment certification from a registered surveyor that the "as constructed" floor levels and overall height are in accordance with this condition.</p> <p>Provide a copy of the Certification to the Building Certifier responsible for issuing the Development Permit for the proposed building works.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained</p> <p>As indicated</p> <p>As indicated</p>

**Ecology**

	<b>Timing</b>
<p><b>59) Natural Assets Local Law (NALL) - Protected Vegetation On Site</b></p> <p>Ensure that all necessary permits under the NALL have been issued to carry out works on protected vegetation on the site.</p> <p>Note: Apply to Development Services for all the necessary permits under the NALL.</p> <p>Timing: Prior to carrying out works on protected vegetation.</p>	<p>As indicated</p>
<p><b>60) Fauna Management - Fauna Spotter Catcher (High Risk)</b></p> <p>Engage a licensed Fauna Spotter Catcher (qualified by the relevant Queensland State Government Authority) to manage the protection and relocation of any fauna prior to and during vegetation/ecological feature clearing.</p> <p><b>60(a) Prior to Vegetation/ Ecological Feature Clearing</b></p>	<p>Prior to site/operational/building work commencing and then to be maintained</p> <p>As indicated</p>

<p>Submit to Development Services certification from the licensed Fauna Spotter Catcher that the site has been fully inspected and any necessary fauna protection measures or relocation procedures have been implemented.</p> <p>Timing: Prior to vegetation/ ecological feature clearing commencing.</p>	
<p><b>60(b) During Vegetation/ Ecological Feature Clearing</b></p> <p>The licensed Fauna Spotter Catcher must be present on site during all clearing operations to monitor works and to respond to any fauna situations that may arise. If any fauna is identified in vegetation or ecological features to be removed during clearing operations, work must cease immediately on that vegetation or ecological feature. The licensed Fauna Spotter Catcher must supervise the relocation of any identified fauna prior to vegetation/ ecological feature clearing recommencing.</p> <p>Timing: While vegetation/ ecological feature clearing is occurring.</p>	<p>As indicated</p>
<p><b>60(c) Submit Certification</b></p> <p>Submit to Development Services certification from the licensed Fauna Spotter Catcher that vegetation/ ecological feature clearing was carried out in accordance with this condition.</p> <p>Timing: Prior to issue of Certificate of Classification/ Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>As indicated</p>
<p><b>61) Vegetation Management (Submit Plan)</b></p> <p>Manage vegetation on the site in accordance with a Vegetation Management Plan approved pursuant to this condition.</p> <p><b>61(a) Submit Vegetation Management Plan</b></p> <p>Submit for the approval of Development Services a Vegetation Management Plan prepared by a suitably qualified Ecologist. The Vegetation Management Plan must be in the form of scaled plans and supporting documentation that are in accordance with the approved Environmental Protection Zone and Environmental Covenant Plan by Reel Planning (received 25/05/2018 and amended in red 10/07/2018), the Koala Habitat Plan TP01.01A (received 03/05/2018, amended in red 15/10/2018), the Tree Retention Plan BR337248.000-002 Rev E by LandPartners (dated 2/06/2017, amended in red 10/10/2018) and the Bushfire Covenant and Bushfire Management Zone Plan by E2M (ref. no. QEJ18007, dated 18/06/2018, amended in red 10/07/2018), relevant Brisbane Planning Scheme Code and include the following:</p> <ul style="list-style-type: none"> <li>- The extent of the Vegetation Management Plan must include evaluation of all areas including proposed road reserves, external works and development areas</li> <li>- The location and description of existing vegetation including species, botanical name, height, canopy spread and Tree Protection Zones (as per AS 4970-2009)</li> <li>- The location and extent of all site works including all</li> </ul>	<p>While site/operational/building work is occurring</p> <p>As indicated</p>

- proposed infrastructure and areas of earthworks
- Detail design of all civil works must protect significant vegetation (e.g. alternative service alignments, variations to batter slopes and tunnel boring)
  - Detail design of the proposed communal area and proposed decking showing the extent of works and the protection of adjoining trees (as per AS4970-2009)
  - The location and description of all vegetation to be retained or to be removed
  - Methods of physical identification of trees/vegetation to be retained or to be removed
  - A description of all measures to protect vegetation and habitat features to be retained during construction, including protective fencing (as per AS 4970-2009), site protocols, etc
  - A description of all pruning and tree surgery works (to AS 4373/96) to maintain the health and stability of trees and reduce potential hazards for future site users (e.g. residents and workers)
  - The location and extent of storage and stockpile areas for cleared vegetation and site mulch
  - A description of all methods to salvage and/or re-use cleared vegetation. Generally, cleared vegetation must be mulched for reuse in landscape/rehabilitation works
  - Details of all measures to protect and recover fauna during clearing operations, including; presence of a qualified wildlife officer during clearing operations, pre-clearing inspections, staging and sequence of clearing and recovery procedures.
- All non- juvenile koala habitat trees within the Bushfire Covenant/Bushfire Management Zone and Environmental Covenant/Environmental Protection Zone must be retained.
- If works encroach into the TPZs of any trees identified to be retained, a report from a qualified arborist (minimum AQF level 5 in Arboriculture) is required to demonstrate no negative impacts on the long-term health of the trees.

Timing: Prior to site / operational / building work commencing and prior to or concurrently with any other operational works application.

**61(b) Pre-Start Meeting**

As indicated

When measures are in place to identify and protect vegetation on site (such as tree protection fencing), arrange a pre-start meeting with the Ecologist Development Services.

A qualified Arborist and Fauna Spotter Catcher must attend the pre-start meeting.

Timing: Prior to site / operational / building work commencing.

**61(c) Implement Approved Vegetation Management Plan**

As indicated

Carry out the works in accordance with the approved Vegetation Management Plan.

Timing: While site / operational / building work is occurring.

**61(d) Submit Certification**

As indicated

Submit to Development Services, certification from a qualified Arborist (minimum AQF Level 5 in Arboriculture with a minimum of 5 years' experience), certifying that the work(s) have been carried out in accordance with the approved

<p>Vegetation Management Plan.</p> <p>Timing: Upon completion of each phase of the approved Vegetation Management Plan and prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	
<p><b>61(e) Retain and Protect Vegetation</b></p> <p>Retain and protect vegetation in accordance with the approved Vegetation Management Plan.</p> <p>Timing: To be maintained.</p>	<p>As indicated</p>
<p><b>62) Environmental Protection Zone</b></p> <p>Retain, protect and maintain all vegetation and ecological features within the approved Environmental Protection Zone shown on approved Environmental Protection Zone and Environmental Covenant Plan by Reel Planning (received 25/05/2018 and amended in red 10/07/2018). The following requirements must be met and maintained to support the approved Environmental Protection Zone.</p> <p><b>62(a) Restrictions Within Approved Environmental Protection Zone</b></p> <p>No part of any building or structure (including but not limited to swimming pools, tennis courts, retaining walls, tanks), no facilities associated with the development, no open space, no recreation areas, no landscaping, no on-site stormwater drainage, no on-site wastewater treatment, no areas of disturbance (including excavation and filling), no storage/stockpiles of materials, no on-site parking, no access and no manoeuvring areas and no bushfire management measures must be located on any part of the site within the approved Environmental Protection Zone whether for temporary, short-term or long-term periods unless otherwise agreed in writing by Development Services.</p> <p>Timing: To be maintained.</p> <p><b>62(b) Environmental Protection Zone Set Out</b></p> <p>A Registered Surveyor must survey and peg the approved Environmental Protection Zone.</p> <p>Timing: Prior to site/operational/building work commencing and to be maintained while development is being undertaken (BW, MCU and ROL) or while marketing a lot for sale (ROL).</p> <p><b>62(c) Fences</b></p> <p>Any fences erected within or to the perimeter of the Environmental Protection Zone must be constructed to allow the free movement of native fauna.</p> <p>Timing: To be maintained.</p> <p><b>62(d) Notification to Prospective Purchasers</b></p>	<p>While site/operational/building work is occurring and then to be maintained</p> <p>As indicated</p> <p>As indicated</p> <p>As indicated</p> <p>As indicated</p>

<p>Notify all prospective purchasers of the site(s) of the requirements and effects of this condition.</p> <p>Timing: At the time of marketing a lot for sale.</p>	
<p><b>63) Rehabilitation (Submit Plan)</b></p> <p>Rehabilitate the site in accordance with a Rehabilitation Plan approved pursuant to this condition.</p> <p><b>63(a) Submit Rehabilitation Plan</b></p> <p>Submit for the approval of Development Services a Rehabilitation Plan prepared by a qualified and experienced environmental professional. The Rehabilitation Plan must be in the form of scaled drawings and supporting documentation that are in accordance with the Environmental Protection Zone and Bushfire Management Zone shown on approved Environmental Protection Zone and Environmental Covenant Plan by Reel Planning (received 25/05/2018 and amended in red 10/07/2018) and Bushfire Covenant and Bushfire Management Zone Plan by E2M (ref. no. QEJ18007, dated 18/06/2018, amended in red 10/07/2018) and includes the following information for the area identified for rehabilitation:</p> <ul style="list-style-type: none"> <li>- Description of proposed rehabilitation works, including objectives (i.e. Regional Ecosystem(s) being restored, area being restored, bushfire mitigation works being implemented, waterway corridor stabilisation works), methods for rehabilitation of management zones (including area of management zone, identification of natural resilience of each management zone and techniques to be used e.g. revegetation, weed control, natural regeneration, topsoil management and soil recovery and if any earthworks are proposed in each management zone (i.e. management of soil erosion issues);</li> <li>- Details of species and densities (densities are to be in accordance with the SEQ restoration Framework) using species of local provenance. Planting densities and surface treatments must be in accordance with Manning's roughness values;</li> <li>- Itemised cost breakdown for implementation and maintenance of the Rehabilitation Plan;</li> <li>- Details of tree/plant protection measures being implemented i.e .tree guards;</li> <li>- Detailed and appropriate weed control techniques for all weed species identified in the Brisbane City Council Pest Management Plan, Land Protection (Pest and Stock Route Management) Act 2002 and other environmental weeds.</li> <li>- Details of fencing, including the requirements for pet exclusion or fauna friendly fencing;</li> <li>- Details of special habitat features to be provided for the enhancement/restoration of habitat values (i.e. nest boxes, coarse woody debris, rocks/roof tiles etc);</li> <li>- Identification of the minimum qualifications of all staff implementing rehabilitation works and the licenses required;</li> <li>- Details of monitoring and reporting requirements; and</li> <li>- Provide a 24 month maintenance program tailored to the</li> </ul>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL), and then to be maintained</p> <p>As indicated</p>



<p>rehabilitation objectives of each management zone.</p> <p>Timing: Prior to site/operational/building work commencing.</p> <p><b>63(b) Implement Approved Rehabilitation Plan</b></p> <p>Carry out the rehabilitation works in accordance with the approved Rehabilitation Plan.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL), and then to be maintained.</p> <p><b>63(c) Submit Certification</b></p> <p>Submit to Development Services, certification from a qualified and experienced environmental professional, certifying that the rehabilitation works have been carried out in accordance with the approved Rehabilitation Plan.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>As indicated</p> <p>As indicated</p>
<p><b>64) Bushfire Management</b></p> <p>Manage bushfire risk within the approved Bushfire Management Zone shown on approved Bushfire Covenant and Bushfire Management Zone Plan by E2M (ref. no. QEJ18007, dated 18/06/2018, amended in red 10/07/2018) in accordance with the approved Bushfire Hazard Assessment and Management Plan by E2M (received 25/06/2018, amended in red 10/07/2018) and in accordance with the below.</p> <p><b>64(a) Bushfire Management Zone Set Out</b></p> <p>A Registered Surveyor must survey and peg the approved Bushfire Management Zone.</p> <p>Timing: Prior to site/operational/building work commencing and to be maintained while development is being undertaken (BW or MCU) or while marketing a lot for sale (ROL).</p> <p><b>64(b) Implement Bushfire Management Measures</b></p> <p>Implement the following bushfire management measures within the approved Bushfire Management Zone:</p> <ul style="list-style-type: none"> <li>- Understorey management, i.e. raking or manual removal of leaf litter and bark (i.e. fine fuels) and/or mowing or slashing grass (including removal of cuttings)</li> <li>- No rehabilitation planting within the FFIZ</li> <li>- Removal/pruning of trees, shrubs and the understorey to ensure that vegetation is not located in front of vulnerable sections of the asset(s) such as window features and canopies do not overhang the asset(s).</li> <li>- Exclude habitable buildings and any flammable structures;</li> </ul>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL), and then to be maintained</p> <p>As indicated</p> <p>As indicated</p>

<ul style="list-style-type: none"> <li>- Trees and shrubs do not form a continuous canopy</li> <li>- Tree branches within two metres from the ground should be removed and shrubs retention at the base of trees should be minimised so to prevent the transfer of flames from ground fuels to the canopy.</li> <li>- All non-juvenile koala habitat trees shown on the approved Vegetation Management Plan for this site must be retained and replaced when required.</li> </ul> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	
<p><b>64(c) Submit Certification</b></p> <p>Submit certification to Development Services certifying that the bushfire management measures identified in (b) above have been implemented.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>As indicated</p>
<p><b>64(d) Maintain Bushfire Management Measures</b></p> <p>Maintain bushfire management measures identified in (b) above.</p> <p>Timing: To be maintained.</p>	<p>As indicated</p>
<p><b>64(e) Notification to Prospective Purchasers</b></p> <p>Notify all prospective purchasers of proposed lots of the requirements and effects of this condition.</p> <p>Timing: At the time of marketing a lot for sale (ROL).</p>	<p>As indicated</p>

**Engineering**

	<b>Timing</b>
<p><b>65) Retaining Walls</b></p> <p>Design and construct all retaining walls and associated fences, in accordance with the relevant Brisbane Planning Scheme Codes and including the following:</p> <ul style="list-style-type: none"> <li>- All retaining walls including the footings, must be located wholly within the property boundary of the site where works are occurring</li> <li>- Retaining walls to stabilise excavation must be set back off property boundaries to accommodate subsoil drainage without encroachment into the neighbouring property. This set back may vary depending on the height, structure and design of the retaining wall, including loadings from neighbouring properties, and to provide a surface drain along the top of the retaining wall</li> <li>- Retaining walls that are greater than 1.0m in height must be vertically and horizontally tiered by a ratio of 1:1 unless an alternative has been approved by Development Assessment</li> <li>- Runoff from surface drains and subsoil drainage associated with the retaining wall must be collected and conveyed to a lawful point of discharge and must not cause any ponding, nuisance or disturbance to adjacent property owners</li> <li>- Retaining walls in excess of 1.0m in height must be designed and</li> </ul>	<p>Prior to site/operational/building work commencing</p>

<p>certified by a Registered Professional Engineer Queensland - Retaining walls facing onto Council property (including the road reserve and parkland) must not be constructed from timber.</p> <p><b>65(a) Certification of Retaining Walls</b></p> <p>For retaining walls over 1.0m in height, obtain certification from a Registered Professional Engineer Queensland that the design and construction of the retaining wall and ancillary drainage is in accordance with this condition.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>	<p>As indicated</p>
<p><b>66) Protect Existing Infrastructure</b></p> <p>Where there is existing infrastructure in the vicinity of the proposed work, the new work must not damage or compromise the working ability of the existing infrastructure. Where alterations to public utility mains, existing mains, services or installations are necessitated by the development, prior to alterations commencing, the developer must notify Council or the relevant infrastructure provider and obtain agreement to the alterations. The developer must meet the costs of the alterations. The alterations must be carried out in accordance with the relevant Brisbane Planning Scheme Codes or infrastructure providers requirements.</p> <p><b>66(a) As Constructed Drawings</b></p> <p>Where alterations to existing infrastructure are required, submit to Development Services "As Constructed" drawings showing all new and/or rectification works and an asset register, prepared by a Registered Professional Engineer Queensland.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p> <p><b>66(b) Submit Certification</b></p> <p>Where alterations to existing infrastructure are required, submit to Development Services certification from a Registered Professional Engineer Queensland, confirming that the alterations have been completed in accordance with the relevant Brisbane Planning Scheme Codes and any other relevant infrastructure requirements.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>While site/operational/building work is occurring</p> <p>While site/operational/building work is occurring</p> <p>While site/operational/building work is occurring</p>
<p><b>67) Repair Damage to Kerb, Footpath Or Road</b></p> <p>Repair any damage to the existing kerb and channel, footpath or roadway (including removal of concrete slurry from footways, roads, kerb and channel, stormwater gullies and drainlines) and re-instate existing traffic signs and pavement markings that have been</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior</p>

<p>removed or damaged during any works carried out in association with the approved development.</p> <p><b>67(a) Interim Repairs</b></p> <p>If at any time during the construction phase of the approved development, damage to the existing kerb and channel, footpath or roadway creates unsafe, unreasonable and/or not fit for purpose conditions as assessed by Council, interim repairs must be undertaken as directed by Asset Services.</p> <p>Note: Any interim repairs required to be undertaken shall not be considered to satisfy the requirements of this condition for the permanent repair of the infrastructure prior to the issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p> <p>Timing: While site / operational / building works is occurring</p>	<p>to Council's notation of the plan of subdivision (ROL)</p> <p>As indicated</p>
<p><b>68) Remove Redundant Drainage Outlets</b></p> <p>Remove any redundant drainage outlets from the kerb and channel including any associated pipe work across the footway and reinstate the kerb and channel and the footway area in accordance with the relevant Brisbane Planning Scheme Codes.</p> <p>Note: Guidance for the preparation of drawings and/or documents to comply with this condition is provided in the Brisbane Planning Scheme Policies.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>
<p><b>69) Ponding of Stormwater</b></p> <p>Carry out the approved development to ensure that adjoining properties and roads are protected from ponding or nuisance from stormwater as a result of the works.</p> <p>Notes: If remedial works are necessary to comply with this condition, prior approval must be obtained from Development Services.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>
<p><b>70) On Site Drainage - Minor</b></p> <p>Provide a stormwater connection to all new or existing allotments and provide drainage infrastructure to ensure stormwater run-off from all roof and developed surface areas will be collected internally and piped in accordance with the relevant Brisbane Planning Scheme Codes to "a lawful point of discharge".</p> <p>Note: Guidance for the preparation of drawings and/or documents to comply with this condition is provided in the Brisbane Planning Scheme Policies.</p> <p><b>70(a) Submit As Constructed Drawings</b></p> <p>Where reconfiguring a lot, submit to Development Services "As Constructed" drawings prepared by a Registered Professional Engineer Queensland.</p> <p>Timing: Prior to Council's notation of the plan of subdivision.</p> <p><b>70(b) Submit Certification</b></p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL), and then to be maintained</p> <p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL), and then to be maintained</p>

<p>Where reconfiguring a lot, submit to Development Services certification from a Registered Professional Engineer Queensland, confirming that the works have been completed in accordance with this condition.</p> <p>Timing: Prior to Council's notation of the plan of subdivision.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL), and then to be maintained</p>
<p><b>71) Service Conduits and Mains</b></p> <p>Provide and install all service conduits and meet the cost of any alterations to public utility mains, existing mains, services or installations that are required to carry out the approved development. These works must be in accordance with the relevant Brisbane Planning Scheme Codes, and include the following, where applicable:</p> <ul style="list-style-type: none"> <li>- the provision of all services and/or conduits along the full length of any rear allotment access or access easement.</li> <li>- the breaking and/or relocation of any existing sewer combine drains.</li> <li>- the relocation of any fire hydrant and/or valves from the development's vehicular footway crossings.</li> <li>- the retention and/or relocation of any existing foul water lines that currently exist within the site.</li> </ul> <p>Note: Applicants must liaise with the appropriate service authorities. Typical underground services and/or conduits to be constructed include power, phone, telecommunications, sewer (including private combine drains) stormwater and gas, if applicable.</p> <p><b>71(a) Submit As Constructed Drawings</b></p> <p>Submit to Development Services "As Constructed" drawings, including an asset register, prepared by a Registered Professional Engineer Queensland.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p> <p><b>71(b) Submit Certification</b></p> <p>Submit to Development Services certification from a Registered Professional Engineer Queensland, confirming that the works have been completed in accordance with the requirements of this condition.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p> <p>As indicated</p> <p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>
<p><b>72) Telecommunications</b></p> <p>Submit to Development Services, certification from an authorised telecommunications carrier/contractor, that the following works and infrastructure have been undertaken and installed in accordance with telecommunications industry standards:</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>

<p>a) Provide telecommunications to the subject buildings, lead-in conduits and equipment space in a suitable location within the buildings, to suit the carrier of choice.</p> <p>b) If new pits and conduit infrastructure are required to be installed within the road reserve fronting the site, it must be suitably sized to cater for future installation of fibre optic cables.</p>	
<p><b>73) Agreement with Electricity Supplier</b></p> <p>Submit to Development Services, evidence of an agreement with an electricity supplier to provide necessary services to the development in accordance with the relevant Brisbane Planning Scheme Codes.</p> <p>Where development is proposed within an established area of overhead electricity supply and the electricity supplier determines that a property pole is the appropriate solution to supply electricity to the development, the developer must be responsible for the installation of the property pole(s).</p> <p>In the above circumstances, submit to Development Services, certification from the developer's electrical consultant confirming that the above installation has been completed in accordance with the relevant AS/NZS Standards and the <i>Queensland Electrical Connection and Metering Manual</i>.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>
<p><b>74) Redundant Crossover</b></p> <p>Remove the redundant existing vehicle crossing(s) on the frontage (s) of the site and reinstate the kerb and channel, road pavement, footways and footpaths in accordance with the relevant Brisbane Planning Scheme Codes.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>

### Standard Advice

	<b>Timing</b>
<p><b>75) Further Development Permit required</b></p> <p>This Development Approval to carry out building work made assessable under the planning scheme for Brisbane does not include an assessment of building work against the requirements of the Building Act and does not permit building work to occur unless, prior to the commencement of any building work, a Development Permit(s) to carry out assessable building work under the Building Act has been issued.</p>	<p>As indicated</p>
<p><b>76) Construction Noise and Dust Emissions</b></p> <p>Pursuant to the Environmental Protection Act 1994, all development involving the emission of noise and dust from building and/or construction activities, must ensure that the emissions are in accordance with the requirements of the Act.</p> <p>The Environmental Protection Act 1994 prescribes that:</p> <ol style="list-style-type: none"> <li>1. A person must not carry out building work in a way that makes an audible noise- <ul style="list-style-type: none"> <li>- on a business day or Saturday, before 6.30a.m. or after 6.30p.m;</li> <li>or</li> <li>- on any other day, at any time.</li> </ul> </li> <li>2. The reference in subsection (1) to a person carrying out building work-</li> </ol>	<p>As indicated</p>

<ul style="list-style-type: none"> <li>- includes a person carrying out building work under an owner-builder permit; and</li> <li>- otherwise does not include a person carrying out building work at premises used by the person only for residential purposes.</li> </ul> <p>Note: A request can be made to work outside of these hours by submitting an Environmental Management Plan for assessment and obtaining an endorsed decision from the Environmental Management delegate Development Services.</p>	
<p><b>77) Early Referral Agency Response (Amenity and Aesthetics)</b></p> <p>Council has chosen to issue an early referral agency response under section 57 of the Planning Act 2016 for amenity and aesthetics impact of the proposed building work (Planning Regulation 2017, Schedule 9, Part 3, Division 2, Table 1). The response is attached to this decision notice.</p>	As indicated
<p><b>78) Currency Period</b></p> <p>The currency period for this development approval is stated in the Decision Notice.</p> <p>The currency period for this development approval is expressed as a date.</p> <p>This development approval lapses at the end of the currency period (the date stated in the decision notice) if:</p> <ul style="list-style-type: none"> <li>- for a material change of use, the first change of use does not happen;</li> <li>- for reconfiguring a lot, the plan of subdivision for the reconfiguration is not given to Council; or</li> <li>- for any other development (including building work and operational work), the development does not substantially start.</li> </ul> <p>The currency period is determined by Council pursuant to section 85 of the Planning Act 2016.</p>	As indicated
<p><b>79) Standard Building Regulations</b></p> <p>This approval does not include assessment against the siting requirements of the Queensland Development Code. Should the approved development require a siting variation against the Queensland Development Code, an application for a Siting Variation must be submitted for the approval of Brisbane City Council - Compliance and Regulatory Services.</p> <p>Note. This development approval does not commit Compliance and Regulatory Services to approve any siting variation shown on the approved drawings.</p>	As indicated
<p><b>80) Advice</b></p> <p>Please note that the information contained in this section under the heading Standard Advice has been provided as advice only and does not form part of the development approval conditions. This information has been provided to advise of other obligations under state legislation or local laws that may require action to be undertaken prior to commencing the activity approved by this development approval.</p>	As indicated

<p><b>81) Cultural Heritage</b></p> <p>Aboriginal cultural heritage is protected under the Aboriginal Cultural Heritage Act 2003 This Act establishes a cultural heritage duty of care and in section 23(1) mandates that a person who carries out an activity must take all reasonable and practicable measures for ensuring activities are managed to avoid or minimise harm to Aboriginal cultural heritage. The Duty of Care Guidelines gazetted pursuant to the Aboriginal Cultural Heritage Act 2003 provide guidance on identifying and protecting Aboriginal cultural heritage to fulfil the duty of care.</p> <p>If you are unsure of your obligations contact the relevant Queensland State Government Department (Department of Aboriginal and Torres Strait Islander Partnerships).</p>	As indicated
<p><b>82) Water and Wastewater</b></p> <p>Services for water and wastewater (sewerage) are no longer under the jurisdiction of Brisbane City Council. Authorisation to connect the approved development to the water/wastewater networks and for property service connections requires a Water Approval under the South-East Queensland Water (Distribution and Retail Restructuring) Act 2009. Any necessary Water Approval must be obtained from the relevant distributor- retailer (currently operating as Queensland Urban Utilities for the Brisbane City Council area).</p> <p>For the purpose of compliance assessment of a subdivision plan pursuant to Schedule 18 of the Planning Regulation 2017 (whether in relation to a development permit for Reconfiguring a Lot or a Building Format Plan subsequent to a development permit for a Material Change of Use), documentary evidence, issued by the relevant distributor-retailer, must be provided to Council to verify that the conditions of any necessary Water Approval under the South-East Queensland Water (Distribution and Retail Restructuring) Act 2009, have been complied with.</p>	As indicated
<p><b>83) Damage to Trees on Adjoining Lots</b></p> <p>Please note that any damage caused to vegetation on adjoining lots as a result of exercising this development approval may result in civil action.</p>	As indicated
<p><b>84) Fire Ant Movement Controls</b></p> <p>To prevent the spread of fire ants, the Queensland Government has implemented movement controls in areas of Queensland (biosecurity zones) where this pest species has been detected. These controls apply to individuals and commercial operators, and restrict the movement of materials that could carry fire ants which include soil, turf, potted plants, mulch, baled hay or straw, animal manures, mining or quarry products.</p> <p>Breaches of these controls can potentially impact the community, economy and the environment. Penalties for non-compliance with movement controls within fire ant biosecurity zones apply under the Biosecurity Act 2014.</p> <p>If you are unsure of your obligations contact the relevant Queensland State Government Department (Biosecurity Queensland, Department of Agriculture and Fisheries).</p>	As indicated





Permit to Which These Conditions Relate:	DA - PA - Reconfiguring a Lot
Activity(ies):	Subdivision of Land
Stage:	(ROL 1 into 2 including new road and access easement)

### General/Planning Requirements

	<b>Timing</b>
<p><b>85) Approved Drawings and Documents</b></p> <p>A legible copy of the Council approved DRAWINGS AND DOCUMENTS and the Development Approval Package must be maintained on site and kept available for inspection by site workers and Council officers.</p> <p>Note: This condition is imposed to ensure compliance with the conditions of development approval.</p>	While site/operational/building work is occurring
<p><b>86) Carry Out the Approved Development</b></p> <p>Carry out the approved development generally in accordance with the approved DRAWINGS AND DOCUMENTS.</p> <p>Note. This development approval may include the location of fences, retaining walls and/or external walls of buildings on the boundary of a lot. This approval does not imply permission to enter neighbouring properties to carry out the construction (including associated drainage and earthworks) or maintenance activities. Permission to enter neighbouring properties must be obtained from relevant property owners.</p>	While site/operational/building work is occurring and then to be maintained
<p><b>87) Complete All Operational Work</b></p> <p>Complete all operational work associated with this development approval, including work required by any of the conditions included in the Development Approval Package. Such operational work must be carried out generally in accordance with the approved DRAWINGS AND DOCUMENTS or, if requiring a further approval from the Council, in accordance with the relevant further approval (s).</p>	Prior to Council's notation on the plan of subdivision and then to be maintained
<p><b>88) Maintain the Approved Development</b></p> <p>Maintain the approved development generally in accordance with the approved DRAWINGS AND DOCUMENTS, and any relevant Council engineering or other approval required by the conditions.</p>	To be maintained
<p><b>89) Demolish or Relocate Buildings</b></p> <p>Demolish or relocate buildings/structures on the site in accordance with the approved DRAWINGS AND DOCUMENTS and where applicable, the approved Construction Management Plan. The removal of buildings/structures includes the removal of all existing concrete slabs, foundations and footings.</p> <p>Timing: Prior to any new building work occurring (MCU or BW) or prior to Council's notation on the plan of subdivision (ROL)</p>	As indicated

<p><b>90) Street Naming</b></p> <p>Provide street name signs.</p> <p><b>90(a) Submit Street Names</b></p> <p>Submit for the approval of Development Services a proposal for street names.</p> <p>Timing: A minimum of four (4) weeks prior to lodging the request for Council's notation of the plan of subdivision.</p> <p><b>90(b) Supply and Install</b></p> <p>Supply and install the street name signs in accordance with the street names approved by Council.</p> <p>Timing: Prior to Council's notation of the plan of subdivision.</p>	<p>Prior to Council's notation on the plan of subdivision</p> <p>As indicated</p> <p>As indicated</p>
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## Ecology

	<b>Timing</b>
<p><b>91) Statutory Environmental Covenant</b></p> <p>Enter into an environmental covenant with Brisbane City Council pursuant to Section 97A of the Land Title Act 1994 for the Environmental Covenant area shown on approved Environmental Protection Zone and Environmental Covenant Plan by Reel Planning (received 25/05/2018 and amended in red 10/07/2018) to ensure the appropriate management of the identified vegetation and ecological features of the land.</p> <p>Timing: Prior to the commencement of use (MCU) or as part of the registration of the plan of subdivision notated by Council (ROL).</p> <p><b>91(a) Submit Plan of Survey</b></p> <p>Submit for the approval of Development Services, a plan of survey showing the land to be covered by the covenant to demonstrate compliance with the requirements of this condition.</p> <p>Timing: Prior to building work commencing (MCU) or prior to submission of the request pursuant to Schedule 18 of the Planning Regulation 2017 for Council's notation on the plan of subdivision necessary to give effect to this approval (ROL).</p> <p><b>91(b) Request Preparation of Covenant</b></p> <p>Submit a request for Council to prepare the necessary covenant documentation to demonstrate compliance with the requirements of this condition.</p> <p>The covenant must detail the responsibilities, liabilities, measures, remedies and intents as necessary to ensure the management of the identified vegetation and ecological features on the land and must address the following:</p> <p>1. Maintenance of vegetation and ecological features including:</p> <ul style="list-style-type: none"> <li>- retention of vegetation and tree hollows;</li> <li>- maintenance of nesting boxes;</li> <li>- ongoing weed control;</li> <li>- rehabilitation in accordance with an approved Rehabilitation</li> </ul>	<p>As indicated</p> <p>As indicated</p> <p>As indicated</p>

<p>Plan for the site.</p> <p>2. Any fences erected within or to the perimeter of the Environmental Covenant must be in accordance with an approved Rehabilitation plan for the site.</p> <p>3. Exclusion from the covenant area of all buildings and structures (including swimming pools, tennis courts, retaining walls), open space, all associated facilities, landscaping, on-site stormwater infrastructure, on-site wastewater treatment, all areas of disturbance (including excavation and filling), on-site parking, access and manoeuvring areas other than a perimeter fence for the lot, unless otherwise specified in this development approval or subsequent approvals from Council.</p> <p>Note: Covenants to be entered into with the Brisbane City Council must have the necessary covenant documentation prepared by the Brisbane City Council, free of cost to Council.</p> <p>Timing: Prior to building work commencing (MCU) or prior to submission of the request pursuant to Schedule 18 of the Planning Regulation 2017 for Council's notation on the plan of subdivision necessary to give effect to this approval (ROL).</p>	
<p><b>91(c) Lodge Notated Plan and Covenant</b></p> <p>Lodge the plan of survey notated by Council and the necessary covenant documentation prepared by Council with the Registrar of Titles for the relevant Queensland State Government Authority.</p> <p>Timing: Prior to commencement of use (MCU) or as part of the registration of the plan of subdivision notated by Council (ROL).</p>	As indicated
<p><b>91(d) Submit Evidence of Registration</b></p> <p>Submit to Development Services evidence of the registration of the plan of survey and the necessary covenant documentation prepared by Council.</p> <p>Timing: Within one month of the registration of the covenant.</p>	As indicated
<p><b>92) Natural Assets Local Law (NALL) - Protected Vegetation On Site</b></p> <p>Ensure that all necessary permits under the NALL have been issued to carry out works on protected vegetation on the site.</p> <p>Note: Apply to Development Services for all the necessary permits under the NALL.</p> <p>Timing: Prior to carrying out works on protected vegetation.</p>	As indicated
<p><b>93) Statutory Bushfire Covenant</b></p> <p>Enter into a bushfire covenant with Brisbane City Council pursuant to Section 97A of the Land Title Act 1994 to ensure the appropriate management of the use of land subject to bushfire risk, as identified on the approved Bushfire Covenant and Bushfire Management Zone Plan by E2M (ref. no. QEJ18007, dated 18/06/2018, amended in red 10/07/2018).</p>	As indicated

Timing: Prior to the commencement of use (MCU) or as part of the registration of the plan of subdivision notated by Council (ROL).

**93(a) Submit Plan of Survey**

As indicated

Submit for the approval of Development Services, a plan of survey showing the land to be covered by the covenant to demonstrate compliance with the requirements of this condition.

Timing: Prior to building work commencing (MCU) or prior to submission of the request pursuant to Schedule 18 of the Planning Regulation 2017 for Council's notation on the plan of subdivision necessary to give effect to this approval (ROL).

**93(b) Request Preparation of Covenant**

As indicated

Submit a request for Council to prepare the necessary covenant documentation to demonstrate compliance with the requirements of this condition.

The covenant must detail the responsibilities, liabilities, measures, remedies and intents as necessary to ensure the appropriate management of the use of land subject to bushfire risk. Further, the details in the covenant must be generally in accordance with section 4.1 of the Bushfire Hazard Assessment and Management Plan report prepared by E2M received 25 June 2018 and amended in red 10/07/2018 and must address the following issues:

1. Maintenance of vegetation within the covenant area as required by the bushfire management condition of this approval;

2. Exclusion from the covenant areas of on-site parking and all buildings and structures except fencing required by conditions of this approval and swimming pools;

3. Maintenance of the fencing to the perimeter of lot boundaries within the covenant area as required by conditions of this approval.

Note: Covenants to be entered into with the Brisbane City Council must have the necessary covenant documentation prepared by the Brisbane City Council, free of cost to Council.

Timing: Prior to building work commencing (MCU) or prior to submission of the request pursuant to Schedule 18 of the Planning Regulation 2017 for Council's notation on the plan of subdivision necessary to give effect to this approval (ROL).

**93(c) Lodge Notated Plan and Covenant**

As indicated

Lodge the plan of survey notated by Council and the necessary covenant documentation prepared by Council with the Registrar of Titles for the relevant Queensland State Government Authority.

Timing: Prior to commencement of use (MCU) or as part of the registration of the plan of subdivision notated by Council (ROL).

**93(d) Submit Evidence of Registration**

As indicated

Submit to Development Services, evidence of the registration of the plan of survey and the necessary covenant

<p>documentation prepared by Council.</p> <p>Timing: Within one month of the registration of the covenant.</p>	
<p><b>94) Environmental Offset Delivery (Ecology)</b></p> <p>Provide an environmental offset for the loss of land of local environmental significance identified in Brisbane City Plan 2014 as an area of general ecological significance. The offset must be based on of the area of 3201m<sup>2</sup> of general ecological significance. The offset must be delivered in accordance with the provisions of the Environmental Offsets Act 2014.</p> <p>Timing: Prior to any vegetation removal commencing.</p> <p>Note: Vegetation may only be removed in accordance with the Vegetation Management Plan approved pursuant to the relevant condition of this approval.</p> <p>Note: The deemed conditions in sections 19B, 22, 24 and 25 of the Environmental Offsets Act 2014 are also imposed on this approval.</p>	As indicated
<p><b>95) Environmental Offset Delivery (Koala)</b></p> <p>Provide an environmental offset for the loss of non-juvenile koala habitat trees on land of koala habitat value identified pursuant to the South East Queensland Koala Conservation State Planning Regulatory Provisions as an area of high value rehabilitation habitat area. The offset must be based on the loss of 560 m2 of high value rehabilitation habitat area. The offset must be delivered in accordance with the provisions of the Environmental Offsets Act 2014.</p> <p>Timing: Prior to any vegetation removal commencing.</p> <p>Note: Vegetation may only be removed in accordance with the Vegetation Management Plan approved pursuant to the relevant condition of this approval. Offsets must be provided for any additional non-juvenile koala habitat trees to be removed as shown on an approved Vegetation Management Plan for the site. The removal of non-juvenile koala habitat trees within the Bushfire Covenant/Bushfire Management Zone and Environmental Covenant/Environmental Protection Zone will not be approved.</p> <p>Note: The deemed conditions in sections 19B, 22, 24 and 25 of the Environmental Offsets Act 2014 are also imposed on this approval.</p>	As indicated
<p><b>96) Fauna Management - Fauna Spotter Catcher (High Risk)</b></p> <p>Engage a licensed Fauna Spotter Catcher (qualified by the relevant Queensland State Government Authority) to manage the protection and relocation of any fauna prior to and during vegetation/ecological feature clearing.</p> <p><b>96(a) Prior to Vegetation/ Ecological Feature Clearing</b></p> <p>Submit to Development Services certification from the licensed Fauna Spotter Catcher that the site has been fully inspected and any necessary fauna protection measures or relocation procedures have been implemented.</p> <p>Timing: Prior to vegetation/ ecological feature clearing commencing.</p> <p><b>96(b) During Vegetation/ Ecological Feature Clearing</b></p>	<p>Prior to site/operational/building work commencing and then to be maintained</p> <p>As indicated</p> <p>As indicated</p>

<p>The licensed Fauna Spotter Catcher must be present on site during all clearing operations to monitor works and to respond to any fauna situations that may arise. If any fauna is identified in vegetation or ecological features to be removed during clearing operations, work must cease immediately on that vegetation or ecological feature. The licensed Fauna Spotter Catcher must supervise the relocation of any identified fauna prior to vegetation/ ecological feature clearing recommencing.</p> <p>Timing: While vegetation/ ecological feature clearing is occurring.</p> <p><b>96(c) Submit Certification</b></p> <p>Submit to Development Services certification from the licensed Fauna Spotter Catcher that vegetation/ ecological feature clearing was carried out in accordance with this condition.</p> <p>Timing: Prior to issue of Certificate of Classification/ Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>As indicated</p>
<p><b>97) Vegetation Management (Submit Plan)</b></p> <p>Manage vegetation on the site in accordance with a Vegetation Management Plan approved pursuant to this condition.</p> <p><b>97(a) Submit Vegetation Management Plan</b></p> <p>Submit for the approval of Development Services a Vegetation Management Plan prepared by a suitably qualified Ecologist. The Vegetation Management Plan must be in the form of scaled plans and supporting documentation that are in accordance with the approved Environmental Protection Zone and Environmental Covenant Plan by Reel Planning (received 25/05/2018 and amended in red 10/07/2018), the Koala Habitat Plan TP01.01A (received 03/05/2018, amended in red 15/10/2018) the Tree Retention Plan BRSS7248.000-002 Rev E by LandPartners (dated 2/06/2017, amended in red 10/10/2018) and the Bushfire Covenant and Bushfire Management Zone Plan by E2M (ref. no. QEJ18007, dated 18/06/2018, amended in red 10/07/2018), relevant Brisbane Planning Scheme Code and include the following:</p> <ul style="list-style-type: none"> <li>- The extent of the Vegetation Management Plan must include evaluation of all areas including proposed road reserves, external works and development areas</li> <li>- The location and description of existing vegetation including species, botanical name, height, canopy spread and Tree Protection Zones (as per AS 4970-2009)</li> <li>- The location and extent of all site works including all proposed infrastructure and areas of earthworks</li> <li>- Detail design of all civil works must protect significant vegetation (e.g. alternative service alignments, variations to batter slopes and tunnel boring)</li> <li>- Detail design of the proposed communal area and proposed decking showing the extent of works and the protection of adjoining trees (as per AS4970-2009)</li> <li>- The location and description of all vegetation to be retained or to be removed</li> </ul>	<p>While site/operational/building work is occurring</p> <p>As indicated</p>

- Methods of physical identification of trees/vegetation to be retained or to be removed
- A description of all measures to protect vegetation and habitat features to be retained during construction, including protective fencing (as per AS 4970-2009), site protocols, etc
- A description of all pruning and tree surgery works (to AS 4373/96) to maintain the health and stability of trees and reduce potential hazards for future site users (e.g. residents and workers)
- The location and extent of storage and stockpile areas for cleared vegetation and site mulch
- A description of all methods to salvage and/or re-use cleared vegetation. Generally, cleared vegetation must be mulched for reuse in landscape/rehabilitation works
- Details of all measures to protect and recover fauna during clearing operations, including; presence of a qualified wildlife officer during clearing operations, pre-clearing inspections, staging and sequence of clearing and recovery procedures.
- All non- juvenile koala habitat trees within the Bushfire Covenant/Bushfire Management Zone and Environmental Covenant/Environmental Protection Zone must be retained.
- If works encroach into the TPZs of any trees identified to be retained, a report from a qualified arborist (minimum AQF level 5 in Arboriculture) is required to demonstrate no negative impacts on the long-term health of the trees.

Timing: Prior to site / operational / building work commencing and prior to or concurrently with any other operational works application.

#### **97(b) Pre-Start Meeting**

As indicated

When measures are in place to identify and protect vegetation on site (such as tree protection fencing), arrange a pre-start meeting with the Ecologist Development Services.

A qualified Arborist and Fauna Spotter Catcher must attend the pre-start meeting.

Timing: Prior to site / operational / building work commencing.

#### **97(c) Implement Approved Vegetation Management Plan**

As indicated

Carry out the works in accordance with the approved Vegetation Management Plan.

Timing: While site / operational / building work is occurring.

#### **97(d) Submit Certification**

As indicated

Submit to Development Services, certification from a qualified Arborist (minimum AQF Level 5 in Arboriculture with a minimum of 5 years' experience), certifying that the work(s) have been carried out in accordance with the approved Vegetation Management Plan.

Timing: Upon completion of each phase of the approved Vegetation Management Plan and prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).

#### **97(e) Retain and Protect Vegetation**

As indicated



<p>Retain and protect vegetation in accordance with the approved Vegetation Management Plan.</p> <p>Timing: To be maintained.</p>	
<p><b>98) Environmental Protection Zone</b></p> <p>Retain, protect and maintain all vegetation and ecological features within the approved Environmental Protection Zone shown on approved Environmental Protection Zone and Environmental Covenant Plan by Reel Planning (dated 23/05/2018 and amended in red 10/07/2018). The following requirements must be met and maintained to support the approved Environmental Protection Zone.</p> <p><b>98(a) Restrictions Within Approved Environmental Protection Zone</b></p> <p>No part of any building or structure (including but not limited to swimming pools, tennis courts, retaining walls, tanks), no facilities associated with the development, no open space, no recreation areas, no landscaping, no on-site stormwater drainage, no on-site wastewater treatment, no areas of disturbance (including excavation and filling), no storage/stockpiles of materials, no on-site parking, no access and no manoeuvring areas and no bushfire management measures must be located on any part of the site within the approved Environmental Protection Zone whether for temporary, short-term or long-term periods unless otherwise agreed in writing by Development Services.</p> <p>Timing: To be maintained.</p> <p><b>98(b) Environmental Protection Zone Set Out</b></p> <p>A Registered Surveyor must survey and peg the approved Environmental Protection Zone.</p> <p>Timing: Prior to site/operational/building work commencing and to be maintained while development is being undertaken (BW, MCU and ROL) or while marketing a lot for sale (ROL).</p> <p><b>98(c) Fences</b></p> <p>Any fences erected within or to the perimeter of the Environmental Protection Zone must be constructed to allow the free movement of native fauna.</p> <p>Timing: To be maintained.</p> <p><b>98(d) Notification to Prospective Purchasers</b></p> <p>Notify all prospective purchasers of the site(s) of the requirements and effects of this condition.</p> <p>Timing: At the time of marketing a lot for sale.</p>	<p>While site/operational/building work is occurring and then to be maintained</p> <p>As indicated</p> <p>As indicated</p> <p>As indicated</p> <p>As indicated</p>
<p><b>99) Rehabilitation (Submit Plan)</b></p> <p>Rehabilitate the site in accordance with a Rehabilitation Plan approved pursuant to this condition.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of</p>

**99(a) Submit Rehabilitation Plan**

Submit for the approval of Development Services a Rehabilitation Plan prepared by a qualified and experienced environmental professional. The Rehabilitation Plan must be in the form of scaled drawings and supporting documentation that are in accordance with the Environmental Protection Zone and Bushfire Management Zone shown on approved Environmental Protection Zone and Environmental Covenant Plan by Reel Planning (received 25/05/2018 and amended in red 10/07/2018) and Bushfire Covenant and Bushfire Management Zone Plan by E2M (ref. no. QJ18007, dated 18/06/2018, amended in red 10/07/2018) and includes the following information for the area identified for rehabilitation:

- Description of proposed rehabilitation works, including objectives (i.e. Regional Ecosystem(s) being restored, area being restored, bushfire mitigation works being implemented, waterway corridor stabilisation works), methods for rehabilitation of management zones (including area of management zone, identification of natural resilience of each management zone and techniques to be used e.g. revegetation, weed control, natural regeneration, topsoil management and soil recovery and if any earthworks are proposed in each management zone (i.e. management of soil erosion issues);
- Details of species and densities (densities are to be in accordance with the SEQ restoration Framework) using species of local provenance. Planting densities and surface treatments must be in accordance with Manning's roughness values;
- Itemised cost breakdown for implementation and maintenance of the Rehabilitation Plan;
- Details of tree/plant protection measures being implemented i.e. tree guards;
- Detailed and appropriate weed control techniques for all weed species identified in the Brisbane City Council Pest Management Plan, Land Protection (Pest and Stock Route Management) Act 2002 and other environmental weeds.
- Details of fencing, including the requirements for pet exclusion or fauna friendly fencing;
- Details of special habitat features to be provided for the enhancement/restoration of habitat values (i.e. nest boxes, coarse woody debris, rocks/roof tiles etc);
- Identification of the minimum qualifications of all staff implementing rehabilitation works and the licenses required;
- Details of monitoring and reporting requirements; and
- Provide a 24 month maintenance program tailored to the rehabilitation objectives of each management zone.

Timing: Prior to site/operational/building work commencing.

**99(b) Implement Approved Rehabilitation Plan**

Carry out the rehabilitation works in accordance with the approved Rehabilitation Plan.

Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's

subdivision (ROL), and then to be maintained  
As indicated

As indicated

<p>notation of the plan of subdivision (ROL), and then to be maintained.</p> <p><b>99(c) Submit Certification</b></p> <p>Submit to Development Services, certification from a qualified and experienced environmental professional, certifying that the rehabilitation works have been carried out in accordance with the approved Rehabilitation Plan.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>As indicated</p>
<p><b>100) Bushfire Management</b></p> <p>Manage bushfire risk within the approved Bushfire Management Zone shown on approved Bushfire Covenant and Bushfire Management Zone Plan by E2M (ref. no. QEJ18007, dated 18/06/2018, amended in red 10/07/2018) in accordance with the approved Bushfire Hazard Assessment and Management Plan by E2M (received 25/06/2018, amended in red 10/07/2018) and in accordance with the below.</p> <p><b>100(a) Bushfire Management Zone Set Out</b></p> <p>A Registered Surveyor must survey and peg the approved Bushfire Management Zone.</p> <p>Timing: Prior to site/operational/building work commencing and to be maintained while development is being undertaken (BW or MCU) or while marketing a lot for sale (ROL).</p> <p><b>100(b) Implement Bushfire Management Measures</b></p> <p>Implement the following bushfire management measures within the approved Bushfire Management Zone:</p> <ul style="list-style-type: none"> <li>- Understorey management, i.e. raking or manual removal of leaf litter and bark (i.e. fine fuels) and/or mowing or slashing grass (including removal of cuttings)</li> <li>- No rehabilitation planting within the FFIZ</li> <li>- Removal/pruning of trees, shrubs and the understorey to ensure that vegetation is not located in front of vulnerable sections of the asset(s) such as window features and canopies do not overhang the asset(s).</li> <li>- Exclude habitable buildings and any flammable structures;</li> <li>- Trees and shrubs do not form a continuous canopy</li> <li>- Tree branches within two metres from the ground should be removed and shrubs retention at the base of trees should be minimised so to prevent the transfer of flames from ground fuels to the canopy.</li> <li>- All non-juvenile koala habitat trees shown on the approved Vegetation Management Plan for this site must be retained and replaced when required.</li> </ul> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use,</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL), and then to be maintained</p> <p>As indicated</p> <p>As indicated</p>

<p>whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	
<p><b>100(c) Submit Certification</b></p> <p>Submit certification to Development Services certifying that the bushfire management measures identified in (b) above have been implemented.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	As indicated
<p><b>100(d) Maintain Bushfire Management Measures</b></p> <p>Maintain bushfire management measures identified in (b) above.</p> <p>Timing: To be maintained.</p>	As indicated
<p><b>100(e) Notification to Prospective Purchasers</b></p> <p>Notify all prospective purchasers of proposed lots of the requirements and effects of this condition.</p> <p>Timing: At the time of marketing a lot for sale (ROL).</p>	As indicated

**Landscape Architecture and Open Space Planning**

	<b>Timing</b>
<p><b>101) Streetscape Works - Subdivision New Road</b></p> <p>Carry out streetscape improvement works including concrete path (where required by this condition), turf and street trees to the verge of the new road(s) to an Industrial Street standard for Industrial roads and a Neighbourhood Street Minor standard for all other roads (Suburban / District / Neighbourhood / Local) in accordance with the relevant Brisbane Planning Scheme Codes, Brisbane Standard Drawings (BSD), the requirements of this condition and the Infrastructure Design Planning Scheme Policy including sections 3.7.4.4, 3.7.4.5 and 3.7.5.</p>	Prior to Council's notation on the plan of subdivision
<p><b>101(a) Concrete Path</b></p> <p>Install a 1.2m wide broom finished standard Portland grey concrete path to both sides of the carriageway of Suburban / District / Neighbourhood (bus route) / Industrial roads and one side of the carriage way of a Neighbourhood (non-bus route) road. The edge of the path is to be setback 1.9m from the back of the kerb for industrial roads and 1.3m from the back of kerb for all other roads. The path is to transition to existing paths on verges that adjoin the development.</p> <p>Timing: Prior to Council's notation of the plan of subdivision.</p>	As indicated
<p><b>101(b) Submit As-Constructed Drawings</b></p> <p>Submit to Development Services "As Constructed" plans including an asset register, checked by a Registered Professional Engineer Queensland, certifying that the concrete path works have been completed in accordance with relevant Brisbane Planning Scheme Codes/Policies.</p>	As indicated

<p>Timing: Prior to Council's notation of the plan of subdivision (ROL).</p> <p><b>101(c) Turf</b></p> <p>Install turf to the full width of the verge excluding any concrete path required by this condition.</p> <p>Timing: Prior Council's notation of the plan of subdivision.</p> <p><b>101(d) Street Tree(s)</b></p> <p>Enter into and implement an arrangement with the Asset Services Regional Coordinator Arboriculture in relation to the required provision of the street tree planting in accordance with the above sections of the Infrastructure Design Planning Scheme Policy, including the number, species, location, installation and maintenance of the required street tree(s) as determined by Asset Services.</p> <p>Provide to Development Services a copy of the agreement signed by Asset Services.</p> <p>Note: Street trees should not be planted until all utilities have been installed.</p> <p>Timing: Prior to Council's notation on the plan of subdivision.</p>	<p>As indicated</p> <p>As indicated</p>
<p><b>102) Streetscape Works - Neighbourhood Street</b></p> <p>Carry out streetscape improvement works including concrete path (where required by this condition), turf and street trees to the Manly Road verge to a Neighbourhood Street Minor standard in accordance with the relevant Brisbane Planning Scheme Codes, Brisbane Standard Drawings (BSD), the requirements of this condition and the Infrastructure Design Planning Scheme Policy including sections 3.7.4.4 and 3.7.5.</p> <p><b>102(a) Concrete Path</b></p> <p>Install a 1.2m wide broom finished standard Portland grey concrete path. The edge of the path is to be setback 1.3m from the back of kerb. The path is to transition to existing paths on verges that adjoin the development.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p> <p><b>102(b) Submit As-Constructed Drawings</b></p> <p>Submit to Development Services "As Constructed" plans including an asset register, checked by a Registered Professional Engineer Queensland, certifying that the concrete path works have been completed in accordance with relevant Brisbane Planning Scheme Codes/Policies.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p> <p>As indicated</p> <p>As indicated</p>

<p><b>102(c) Turf</b></p> <p>Install turf to the full width of the verge excluding any concrete path required by this condition.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>As indicated</p>
<p><b>102(d) Street Tree(s)</b></p> <p>Enter into and implement an arrangement with the Asset Services Regional Coordinator Arboriculture in relation to the required provision of the street tree planting in accordance with the above sections of the Infrastructure Design Planning Scheme Policy, including the number, species, location, installation and maintenance of the required street tree(s) as determined by Asset Services. Provide to Development Assessment a copy of the agreement signed by Asset Services.</p> <p>Note: Street trees should not be planted until all utilities have been installed.</p> <p>Timing: Prior to issue of Certificate of Classification / Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation on the plan of subdivision (ROL)</p>	<p>As indicated</p>

**Engineering**

	<b>Timing</b>
<p><b>103) Filling and / or Excavation</b></p> <p>All proposed earthworks must be carried out in accordance with the relevant Brisbane Planning Scheme Codes.</p> <p>Timing: Prior to building work commencing (MCU or BW) or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>As indicated</p>
<p><b>103(a) Submit Earthworks Drawings</b></p> <p>Submit for the approval of Development Services earthworks drawings prepared and certified by a Registered Professional Engineer Queensland in accordance with the approved DRAWINGS AND DOCUMENTS, the relevant Brisbane Planning Scheme Codes.</p> <p>The Earthworks Drawings must include the following:</p> <ul style="list-style-type: none"> <li>- The location of any cut and/or fill;</li> <li>- The quantity of fill to be deposited and finished fill levels;</li> <li>- Maintenance of access roads to and from the site such that they remain free of all fill material and are cleaned as necessary;</li> <li>- The existing and proposed finished levels in reference to the Australian Height Datum (including cross-sections or long sections into the adjacent properties);</li> <li>- Preservation of all drainage structures from the effects of structural loading generated by the earthworks;</li> <li>- Protection of adjoining properties and roads from ponding or nuisance from stormwater;</li> <li>- That all vehicles exiting from the site will be cleaned and</li> </ul>	<p>As indicated</p>

treated so as to prevent material being tracked or deposited on public roads.

**Note:**

If the earthworks impact on the road reserve, the Developer must obtain applicable footpath and road permits prior to commencing any works. Such impacts may include footpath occupation, road closures, re-profiling, ground anchors and/or relocation of services. If the excavation has to be stabilised using ground anchors or similar then the submitted plans must show the location of these in relation to all services. The cost of moving services, utilities and assets is the responsibility of the Developer. The permission of the service/utility/asset owner is required.

Timing: Prior to site/operational/building work commencing.

**103(b) Fill Material, Placement, Compaction and Testing**

As indicated

All fill material placed on the site must comprise only natural earth and rock and must be free of contaminants (as defined by Part 3, Division 2, Subdivision 2 Environmental contamination, Section 11 of the Environmental Protection Act) and noxious, hazardous, deleterious and organic materials.

Fill material, placement, compaction and testing must comply with the requirements of Australian Standard - AS 3798, Guidelines on Earthworks for Commercial and Residential Developments.

Timing: While site/operational/building work is occurring.

**103(c) Implement Approved Earthworks Drawings**

As indicated

Construct and maintain the earthworks in accordance with the requirements of AS3798 and the approved earthworks drawings.

Timing: While site/operational/building work is occurring and then to be maintained.

**103(d) Submit As Constructed Drawings**

As indicated

Submit to Development Services "As Constructed" drawings prepared by a Registered Surveyor.

Timing: Prior to building work commencing (MCU or BW) or prior to Council's notation of the plan of subdivision (ROL).

**103(e) Submit Certification**

As indicated

Submit to Development Services certification from a Registered Professional Engineer Queensland, confirming that the works have been completed in accordance with the approved earthworks drawings.

Submit to Development Services certification from a Registered Professional Engineer Queensland, confirming that all fill material used complies with the quality requirements of this condition and that placement, compaction and testing has been carried out in accordance with AS3798.

<p>Timing: Prior to building work commencing (MCU or BW) or prior to Council's notation of the plan of subdivision (ROL).</p>	
<p><b>104) Grant Easements</b></p> <p>Grant the following easement(s):</p> <ul style="list-style-type: none"> <li>i) Easement for the purpose of access, construction and maintenance of utility services and/or stormwater drainage over lot (s) 2 in favour of lot(s) 1.</li> <li>ii) Easements for access purposes over (proposed) lot 2 in favour of (proposed) lot 1 as indicated on the approved DRAWINGS AND DOCUMENTS.</li> <li>iii) Reciprocal access easements over access strips.</li> <li>iv) Easements over turning areas for refuse vehicle turn-around where such areas are located on private property, in favour of Brisbane City Council and its agents.</li> </ul> <p>Timing: Prior to commencement of use (MCU) or as part of the registration of the plan of subdivision notated by Council (ROL), and then to be maintained.</p>	<p>As indicated</p>
<p><b>104(a) Submit Plan of Subdivision and Documentation (Non-Council Easement)</b></p> <p>Submit for the approval of Development Services, a plan of subdivision showing the easement and the necessary easement documentation to demonstrate compliance with the requirements of this condition.</p> <p>Note: Easements not in favour of the Brisbane City Council must have the necessary documentation prepared by the applicant's private solicitors.</p> <p>Timing: As part of the submission of the request pursuant to Schedule 18 of the Planning Regulation 2017 for Council's notation on the plan of subdivision necessary to comply with this condition (MCU) or give effect to this approval (ROL).</p>	<p>As indicated</p>
<p><b>104(b) Submit Plan of Subdivision and Documentation (Council Easement)</b></p> <p>Submit for the approval of Development Services, a plan of subdivision showing the easement and a request for Council to prepare the necessary easement documentation to demonstrate compliance with the requirements of this condition.</p> <p>Note: Easements in favour of the Brisbane City Council must have the necessary easement documentation prepared by the Brisbane City Council, free of cost to Council.</p> <p>Timing: Prior to submission of the request pursuant to Schedule 18 of the Planning Regulation 2017 for Council's notation on the plan of subdivision necessary to comply with this condition (MCU) or give effect to this approval (ROL).</p>	<p>As indicated</p>
<p><b>104(c) Lodge Notated Plan and Documentation</b></p>	<p>As indicated</p>



<p>Lodge the plan of subdivision notated by Council pursuant to Schedule 18 of the Planning Regulation 2017 and the necessary easement documentation with the Registrar of Titles for the relevant Queensland State Government Authority.</p> <p>Timing: Prior to commencement of use (MCU) or as part of the registration of the plan of subdivision notated by Council (ROL).</p>	
<p><b>104(d) Submit Evidence of Registration</b></p> <p>Submit to Development Services evidence of the registration of the necessary easement documentation.</p> <p>Timing: Within one month of the registration of the easement documentation.</p>	As indicated
<p><b>105) On-site Erosion (high risk)</b></p> <p>Minimise on-site erosion and the release of sediment or sediment laden stormwater from the site at all times.</p> <p>Timing: While site works are occurring and until all exposed soil areas are permanently stabilised against erosion.</p> <p><b>105(a) Prepare ESC Plan and Program</b></p> <p>Prepare Erosion and Sediment Control (ESC) Plan(s) &amp; Program, and provide design certificates, inspection certificates and a schedule of registered business names for the site in accordance with the relevant Brisbane Planning Scheme Codes.</p> <p>The plan(s) and program must be prepared by a Certified Professional in Erosion and Sediment Control (CPESC) or Registered Professional Engineer Qld (RPEQ) with suitable qualifications and experience in erosion and sediment control and must be certified by a CPESC.</p> <p>Documentary evidence demonstrating appropriate qualifications in erosion and sediment control must be provided to the Council upon request.</p> <p>At least 10 days prior to either the pre-start meeting or commencement of site works, submit copies of all required documentation, including design certificates to Council's Compliance and Regulatory Services at:  <a href="mailto:CARS-ESC@brisbane.qld.gov.au">CARS- ESC@brisbane.qld.gov.au</a>.</p> <p>Timing: Prior to pre-start meeting or commencement of any site works and to be maintained until all exposed soil areas are permanently stabilised against erosion.</p> <p><b>105(b) Attend a Pre-Start meeting</b></p> <p>Arrange and attend a pre-start meeting with an Erosion &amp; Sediment Control Officer from Council's Compliance and Regulatory Services. Requests are to be made when submitting copies of all required documentation, including design certificates to: <a href="mailto:CARS-ESC@brisbane.qld.gov.au">CARS-ESC@brisbane.qld.gov.au</a></p> <p>Timing: Prior to commencement of any site works causing exposure of soil.</p> <p><b>105(c) Implement Certified ESC Plan and Program</b></p>	<p>As indicated</p> <p>As indicated</p> <p>As indicated</p> <p>As indicated</p>

<p>Implement the certified ESC plan(s) and Program to maintain compliance with all parts of the relevant Brisbane Planning Scheme Codes, while site works are occurring and until all exposed soil areas are permanently stabilised against erosion. The plan(s), program, design certifications &amp; inspection certifications must be available on site at all times for inspection by Council officers until all exposed soil areas are permanently stabilised against erosion. Minimise on-site erosion and the release of sediment or sediment laden stormwater from the site at all times.</p> <p>Timing: While site works are occurring and until all exposed soil areas are permanently stabilised against erosion.</p>	
<p><b>106) Maintenance Period for Engineering Work</b></p>	<p>As indicated</p>
<p>Maintain the work required by the Engineering condition(s) imposed on this development approval and rectify any defects in accordance with the requirements detailed in this condition.</p> <p>Timing: During the on-maintenance period.</p>	
<p><b>106(a) On-Maintenance Acceptance</b></p> <p>Arrange an on-maintenance inspection with Development Services and obtain written confirmation from Council that the work has been completed in accordance with the requirements of the condition and is accepted on-maintenance.</p> <p>Provide proof of Public Liability Insurance (\$20 million) for the on- maintenance period.</p> <p>Lodge a maintenance security for the on- maintenance period. The security must be calculated as 5% of the value of the constructed work or \$10,000.00, whichever is greater.</p> <p>Note: A maintenance security may consist of either a bank guarantee or monetary payment lodged with Council. Refer to Council's <i>Infrastructure Installation and Construction Requirements Manual</i> for further details about the on-maintenance procedure and requirements.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>As indicated</p>
<p><b>106(b) On-Maintenance Period</b></p> <p>Provide a minimum 12 months maintenance to the work from the time the work is accepted on-maintenance by Council. During this period maintain the work and rectify any defects identified at the on-maintenance inspection and those arising during the on-maintenance period.</p> <p>Timing: A minimum 12 months from acceptance on-maintenance.</p>	<p>As indicated</p>
<p><b>106(c) Off-Maintenance Acceptance</b></p> <p>On completion of the maintenance period arrange an off-maintenance inspection with Development Services, and obtain</p>	<p>As indicated</p>

<p>written confirmation from Council that the work is accepted off-maintenance.</p> <p>Ensure all defects are rectified prior to making an appointment for off-maintenance inspection.</p> <p>Note: If the inspection is successful the maintenance security will be released.</p> <p>Timing: On completion of the on-maintenance period.</p>	
<p><b>107) Information Signage</b></p> <p>Erect an "Information Sign" on the subject property in accordance with Council's general requirements for signage and in accordance with the requirements outlined below:</p> <p>a) The sign should provide a brief description of the development proposed;</p> <p>b) The sign is to list the name, postal and/or email address and a contact telephone number for the following parties (where relevant) that are undertaking work on the site:</p> <p style="padding-left: 40px;">Developer; Project Coordinator; Architect/Building Designer; Builder; Civil Engineer; Civil Contractor/s; and Landscape Architect;</p> <p>c) The lettering on the sign is to be at least 25 millimetres in height, be of regular weight and in sentence case;</p> <p>d) The sign is to be a minimum size of 1,200 millimetres by 900 millimetres;</p> <p>e) The maximum area of the sign is to be 2.0m<sup>2</sup>;</p> <p>f) The sign is to be positioned as follows:</p> <p style="padding-left: 40px;">located centrally along each road frontage of the site to Manly Road; located on or within 1.5 metres of the road frontage; mounted at least 300 millimetres above ground level; and clearly visible from the street for a pedestrian;</p> <p>g) The sign is to contain no commercial or corporate advertising other than the name, logo or slogan of the parties outlined in part (b) of this condition;</p> <p>h) The sign is to be non-illuminated; and</p> <p>i) Both the sign and the supporting structure are to be made of weatherproof material and to be properly maintained at all times;</p> <p>Timing: Prior to site works commencing and then to be maintained until completion of the development for all stages.</p>	<p>As indicated</p>
<p><b>108) Engineering Pre-Start Meeting</b></p> <p>To arrange an engineering pre-start meeting with Development Service to comply with a condition of this approval, request letter to be emailed to DA- ComplianceEngineering@brisbane.qld.gov.au including the following details:</p>	<p>As indicated</p>

<ul style="list-style-type: none"> <li>- Site address, Development Approval number (A00) and relevant stage/s (if appropriate);</li> <li>- List all Development Approval conditions requiring compliance prior to site/operational/building work commencing and demonstrate compliance with those conditions;</li> <li>- Payee details (Name and address) for the issue of a development "Compliance and Inspection Fee" quote;</li> <li>- Superintendent (Consultant) name, address and telephone number (including after-hours contact);</li> <li>- Contractor/s and major Sub-Contractor/s, name, address and telephone number (including after-hours contact);</li> <li>- Intended date of commencement of works.</li> </ul> <p>Note:</p> <ul style="list-style-type: none"> <li>- <b>All operational works/compliance assessment applications are to be approved prior to requesting the pre-start meeting.</b></li> <li>- A minimum 5 working days' notice is required.</li> <li>- Compliance and Inspection fee to be paid prior to undertaking pre-start meeting.</li> <li>- All operational works/compliance assessment approved documents and the Development Approval package (conditions and plans) must be available at the pre-start meeting.</li> <li>- Refer to Council's Infrastructure <i>Installation and Construction Requirements Manual</i> for full details of the notification, meeting, inspection and liaison requirements.</li> </ul> <p>Timing: Prior to site/operational/building work commencing.</p>	
<p><b>109) Existing Council Public Transport Facilities Bus Stops and Shelters</b></p> <p>Enter into an arrangement with Council's Transport Planning and Strategy Section to ensure that existing public transport facilities are maintained and that the function of those facilities will not be interrupted by the development.</p> <p><b>109(a) Implement arrangement</b></p> <p>Implement the arrangement made with Council's Transport Planning and Strategy Section.</p> <p>Timing: While site/operational/building work are occurring.</p> <p><b>109(b) Acceptance by Transport Planning and Strategy Section</b></p> <p>Submit to Development Services a copy of the written acceptance from Council's Transport Planning and Strategy Section that the public transport facilities have been maintained in accordance with this condition.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>Prior to site/operational/building work commencing</p> <p>Prior to site/operational/building work commencing</p> <p>Prior to site/operational/building work commencing</p>
<p><b>110) Retaining Walls</b></p> <p>Design and construct all retaining walls and associated fences, in accordance with the relevant Brisbane Planning Scheme Codes and including the following:</p> <ul style="list-style-type: none"> <li>- All retaining walls including the footings, must be located wholly</li> </ul>	<p>Prior to site/operational/building work commencing</p>

within the property boundary of the site where works are occurring

- Retaining walls to stabilise excavation must be set back off property boundaries to accommodate subsoil drainage without encroachment into the neighbouring property. This set back may vary depending on the height, structure and design of the retaining wall, including loadings from neighbouring properties, and to provide a surface drain along the top of the retaining wall
- Retaining walls that are greater than 1.0m in height must be vertically and horizontally tiered by a ratio of 1:1 unless an alternative has been approved by Development Services
- Runoff from surface drains and subsoil drainage associated with the retaining wall must be collected and conveyed to a lawful point of discharge and must not cause any ponding, nuisance or disturbance to adjacent property owners
- Retaining walls in excess of 1.0m in height must be designed and certified by a Registered Professional Engineer Queensland
- Retaining walls facing onto Council property (including the road reserve and parkland) must not be constructed from timber.

**110(a) Certification of Retaining Walls**

As indicated

For retaining walls over 1.0m in height, obtain certification from a Registered Professional Engineer Queensland that the design and construction of the retaining wall and ancillary drainage is in accordance with this condition.

Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).

**111) Construction Management Plan - Major**

While site/operational/building work is occurring

Carry out development in accordance with a Construction Management Plan prepared in accordance with the requirements of this condition.

**111(a) Submit Construction Management Plan**

As indicated

Submit for the approval of Development Services a Construction Management Plan for the demolition (where in a Centre zone, the Mixed use zone or where the demolition is otherwise assessable development), excavation and construction phases of the approved development. Separate Construction Management Plans may be appropriate for the individual components. The Construction Management Plan must be in accordance with the relevant Brisbane Planning Scheme Codes, Workplace Health and Safety Legislation, Environmental Protection Act, the requirements of any Concurrence Agency, any other relevant legislative requirements and the following.

The Construction Management Plan must be supported by Permits or written approvals from the relevant Council sections or other body listed below (where applicable to the Plan) to ensure all potential impacts to Council and other infrastructure have been addressed:

(i) Work Zones / Temporary Road Closures / Taxi Ranks - (Congestion Reduction Unit, Planned Incident Management / Temporary Road Closures);

- (ii) Full/Partial Footway-Footpath Closures – (Brisbane Infrastructure – Congestion Reduction Unit);
- (iii) Street Lighting - (Brisbane Infrastructure - Asset Services-City Lighting);
- (iv) City Cycle bike stations and JCDecaux Advertising Signage (including obstruction to sight lines for such advertising - owned by JCDecaux)- (Brisbane Infrastructure - Transport Planning and Strategy, Contract Management section);
- (v) Street Furniture (excluding bus stops) - (Brisbane Infrastructure, Transport Network Operations, Roads and Drainage);
- (vi) Waste Bins - (Brisbane Infrastructure, Waste Service);
- (vii) Bus Stops/Shelters - (Brisbane infrastructure - Transport Planning and Strategy-Strategic Planning; and Brisbane Transport - Network Planning & Bus Operations);
- (viii) Street Trees - (Brisbane Infrastructure - Asset Services - Arboriculture);
- (ix) Parking Meters/Spaces - (Brisbane Infrastructure - City Parking);
- (x) Traffic Signals - (Brisbane Infrastructure - Traffic Signals Operations);
- (xi) Stormwater Gullies/Pits etc - (Brisbane Infrastructure - Roads and Drainage);
- (xii) Other service providers - (e.g. Energex, Telstra, Optus, Queensland Urban Utilities, AGL);
- (xiii) Erect Scaffolding/Hoarding Permit, (Queen Street Mall, Reddacliff Place, Chinatown Mall and Brunswick Street Mall) - (City Planning and Sustainability – City Malls Management, City Planning and Economic Development);
- (xiv) Vehicle Access Permits, (Queen Street Mall, Reddacliff Place, Chinatown Mall and Brunswick Street Mall) - (City Planning and Sustainability - City Malls Management, City Planning and Economic Development).

The construction management plan must address the following:

- (i) Provision for pedestrian management including alternative pedestrian routes, past or around the site;
- (ii) Location of and impacts on any Council or other authority's assets on or external to the site;
- (iii) Temporary vehicular access points and frequency of use;
- (iv) Provision for loading and unloading materials including the location of any remote loading sites;
- (v) Location of materials, structures, plant and equipment to be stored or placed on the construction site;
- (vi) How materials are to be loaded/unloaded and potential impacts on existing street trees;
- (vii) Location of proposed external hoardings and gantries, (with clearances to street furniture and other footpath assets, (e.g. CityCycle bike stations);
- (viii) Employee and visitor parking areas (if provided);
- (ix) Anticipated staging, programming;
- (x) Provision for fire exit routes for other uses on the subject or adjoining sites;
- (xi) Notify Development Services of construction considered necessary to be conducted out of normal business hours (where normal hours are defined as Monday to Saturday between 6:30am and 6:30pm excluding public holidays).
- (xii) The details identified in (xi) above must be accompanied by a consultation strategy for seeking, recording and addressing the impacts of dust, noise and vibration upon

adjoining and nearby properties.

Notes:

- Approval for footpath closures and/or temporary vehicle access will only be considered where it can be demonstrated that no other reasonable alternative can be provided due to site constraints and that safety, capacity and/or operation of public transport, vehicle and pedestrian traffic are not compromised.
- Proposed arrangements utilising any part of the road reserve for construction related activities, for example, on-street work zones, overhead gantries, or where paid parking spaces are impacted upon or pedestrian diversions proposed are subject to separate application fees and rental fees.
- The approved Construction Management Plan will not allow the carrying out of specific work activities for any phase of construction outside of normal hours.

Timing: Prior to site/operational/building work commencing.

**111(b) Construction Management Plan - Pre- Start Meeting**

As indicated

Arrange and attend a pre-start meeting with Development Services.

Timing: Prior to site/operational/building work commencing.

**111(c) Construction Management Plan - Associated Activities in Road Reserve**

As indicated

Obtain relevant approvals to carry out any works required by the approved Construction Management Plan, including the following, within the road reserve:

- Temporary lane closures;
- Restricted work zones (subject to relaxation of clearway hours and resolution of alternative kerb side allocation including bus zones);
- Overcoming clearway restrictions;
- Gantry erection.

Notes:

- Applications will be assessed on the basis of road and footpath network operating conditions prevailing at the time. Council will consider impacts of other construction works or events that occur during the life of the permit.
- All fees must be paid in full prior to any permit being granted by Council. Council may revoke any permits at any time for non-compliance with requirements or if it considers that safety, capacity and /or operation of public transport, vehicle and pedestrian traffic are likely to be compromised during the construction phase.

Timing: Prior to site/operational/building work commencing.

**111(d) Construction Management Plan - Documentation on Site**

As indicated

Legible copies of the approved Construction Management Plan and current permits must be kept on site and be made available on request at all times.

Timing: While site/operational/building work is occurring

As indicated

<p><b>111(e) Construction Management Plan - Works to be Performed Out of Hours</b></p> <p>Obtain approval from Development Services for any work that is to be undertaken outside of normal business hours - 6:30am to 6:30pm, Monday to Saturday.</p> <p>Timing: Prior to site/operational/building work commencing.</p> <p><b>111(f) Implement Approved Construction Management Plan</b></p> <p>Carry out the development in accordance with the approved Construction Management Plan.</p> <p>Timing: While site/operational/building work is occurring.</p>	<p>As indicated</p>
<p><b>112) Protect Existing Infrastructure</b></p> <p>Where there is existing infrastructure in the vicinity of the proposed work, the new work must not damage or compromise the working ability of the existing infrastructure. Where alterations to public utility mains, existing mains, services or installations are necessitated by the development, prior to alterations commencing, the developer must notify Council or the relevant infrastructure provider and obtain agreement to the alterations. The developer must meet the costs of the alterations. The alterations must be carried out in accordance with the relevant Brisbane Planning Scheme Codes or infrastructure providers requirements.</p> <p><b>112(a) As Constructed Drawings</b></p> <p>Where alterations to existing infrastructure are required, submit to Development Services "As Constructed" drawings showing all new and/or rectification works and an asset register, prepared by a Registered Professional Engineer Queensland.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p> <p><b>112(b) Submit Certification</b></p> <p>Where alterations to existing infrastructure are required, submit to Development Services certification from a Registered Professional Engineer Queensland, confirming that the alterations have been completed in accordance with the relevant Brisbane Planning Scheme Codes and any other relevant infrastructure requirements.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>While site/operational/building work is occurring</p> <p>While site/operational/building work is occurring</p> <p>While site/operational/building work is occurring</p>
<p><b>113) Certified Site Survey Levels</b></p> <p>Submit to Development Services, "As Constructed" drawings prepared by a Registered Surveyor. The Registered Surveyor must certify that the "As Constructed" drawings are in accordance with the relevant Brisbane Planning Scheme Codes and show finished</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>



<p>surface level information over the completed development.</p> <p>Note: The survey information must show surface levels and site contours at 1 metre intervals. All levels must be shown as Reduced Levels to the "Australian Height Datum" (AHD).</p>	
<p><b>114) Remove Improvements &amp; Obstructions From Truncation and Dedication</b></p> <p>Remove all improvements (fences, gates, letter boxes, garden beds and plots and other constructed items, etc.) and obstructions (existing earth banks, vegetation, etc.) from the area of the dedicated road and reinstate the area as footway in accordance with the relevant Brisbane Planning Scheme Codes.</p> <p>Note: The cost of moving services, utilities and assets is the responsibility of the Developer. The permission of the service, utility or asset owner will be required. Council permission is required if street trees, stormwater gullies/drains, and swales are affected. Queensland Urban Utilities permission is required if water supply and sewerage services are affected.</p> <p><b>114(a) Certify the Work</b></p> <p>Submit to Development Services certification from a Registered Surveyor or Registered Professional Engineer Queensland that the above work has been completed in accordance with this condition.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p> <p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>
<p><b>115) Repair Damage to Kerb, Footpath Or Road</b></p> <p>Repair any damage to the existing kerb and channel, footpath or roadway (including removal of concrete slurry from footways, roads, kerb and channel, stormwater gullies and drainlines) and re-instate existing traffic signs and pavement markings that have been removed or damaged during any works carried out in association with the approved development.</p> <p><b>115(a) Interim Repairs</b></p> <p>If at any time during the construction phase of the approved development, damage to the existing kerb and channel, footpath or roadway creates unsafe, unreasonable and/or not fit for purpose conditions as assessed by Council, interim repairs must be undertaken as directed by Asset Services.</p> <p>Note: Any interim repairs required to be undertaken shall not be considered to satisfy the requirements of this condition for the permanent repair of the infrastructure prior to the issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p> <p>Timing: While site / operational / building works is occurring</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p> <p>As indicated</p>
<p><b>116) Remove Redundant Drainage Outlets</b></p>	

<p>Remove any redundant drainage outlets from the kerb and channel including any associated pipe work across the footway and reinstate the kerb and channel and the footway area in accordance with the relevant Brisbane Planning Scheme Codes.</p> <p>Note: Guidance for the preparation of drawings and/or documents to comply with this condition is provided in the Brisbane Planning Scheme Policies.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>
<p><b>117) Land for Transport Network - Road (Non- trunk)</b></p> <p>Dedicate as road land shown as new road (non-trunk) on the APPROVED Indicative Subdivision Layout Plan, TP01.06 C (as amended in red 17/10/18) received 14 Sep 2018, including the following:</p> <p>i. The area shown on the plans as new road, facilitating the extension of Oasis Close.</p> <p>NOTE: This condition is imposed under section 145 of the Planning Act 2016.</p> <p>Timing: Prior to commencement of use (MCU) or as part of the registration of the plan of subdivision notated by Council (ROL).</p> <p><b>117(a) Submit Plan of Subdivision (MCU only)</b></p> <p>Submit for the approval of Development Services, a plan of subdivision showing the land to be dedicated for road to demonstrate compliance with the requirements of this condition.</p> <p>Timing: As part of the submission of the request pursuant to Schedule 18 of the Planning Regulation 2017 for Council's notation on the plan of subdivision necessary to comply with this condition.</p> <p><b>117(b) Lodge Notated Plan (MCU only)</b></p> <p>Lodge the plan of subdivision notated by Council pursuant to Schedule 18 of the Planning Regulation 2017 with the Registrar of Titles for the relevant Queensland State Government Authority.</p> <p>Timing: Prior to commencement of use.</p> <p><b>117(c) Submit Evidence of Registration (MCU only)</b></p> <p>Submit to Development Services, evidence of the registration of the required plan of subdivision.</p> <p>Timing: Within one month of the registration of the plan of subdivision.</p>	<p>As indicated</p> <p>As indicated</p> <p>As indicated</p> <p>As indicated</p>
<p><b>118) Land for Transport Network - Road (Trunk)</b></p> <p>Dedicate as road the land shown as new road (trunk) on the APPROVED DRAWING NUMBER RC16009 Issue 1 for the Transport Network which forms part of former LGIP ID MNW-RC-001 in the Local government infrastructure plan 2014 including the following:</p>	<p>As indicated</p>

i. A 4.66 metre widening along the full length of the Manly Road frontage of the site;

NOTE: This condition is imposed under section 128(1) of the Planning Act 2016.

Timing: Prior to commencement of use (MCU) or as part of the registration of the plan of subdivision notated by Council (ROL).

**118(a) Submit Plan of Subdivision (MCU only)**

As indicated

Submit for the approval of Development Services, a plan of subdivision showing the land to be dedicated for road to demonstrate compliance with the requirements of this condition.

Timing: As part of the submission of request pursuant to Schedule 18 of the Planning Regulation 2017 for Council's notation on the plan of subdivision necessary to comply with this condition.

**118(b) Lodge Notated Plan (MCU only)**

As indicated

Lodge the plan of subdivision notated by Council pursuant to Schedule 18 of the Planning Regulation 2017 with the Registrar of Titles for the relevant Queensland State Government Authority.

Timing: Prior to commencement of use.

**118(c) Submit Evidence of Registration (MCU only)**

As indicated

Submit to Development Services, evidence of the registration of the required plan of subdivision.

Timing: Within one month of the registration of the plan of subdivision.

**119) Work for Transport Network - Road (Non-trunk) - Internal**

Construct the following roadwork with any associated drainage, footpath, pathways and services for the Transport Network (Road) shown on the APPROVED Proposed Ground Floor Master Plan, TP01.03 D (amended in red 12/10/18) and Concept Functional Traffic Layout Plan B17040-CSK04 received 14/9/18 in accordance with the relevant Brisbane Planning Scheme Codes, the Manual of Uniform Traffic Control Devices - Queensland Department of Transport and Main Roads - Transport Operations (Road Use Management) Act 1995 and the AUSTRROADS design standards:

- roads 16 metres wide designed and constructed as Neighbourhood Roads (designed for 85 percentile 50 km/hr maximum);

Note: This condition is imposed under section 145 of the Planning Act 2016.

Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)

**119(a) Submit Functional Layout Drawings**

As indicated

Submit for the approval of Development Services functional layout drawings prepared and certified by a Registered Professional Engineer Queensland in accordance with the APPROVED DRAWINGS AND DOCUMENTS and the relevant Brisbane Planning Scheme Codes.

Note: This approval must be obtained prior to the submission of drawings for Roadwork and Stormwater Drainage and Signs and Pavement Marking.

Timing: Prior to site/operational/building work commencing.

**119(b) Submit Roadworks and Stormwater Drainage Drawings**

As indicated

Submit for the approval of Development Services Roadworks and Stormwater Drainage Drawings prepared and certified by a Registered Professional Engineer Queensland in accordance with the APPROVED DRAWINGS AND DOCUMENTS and the relevant Brisbane Planning Scheme Codes.

Timing: Prior to site/operational/building work commencing.

**119(c) Submit Signs and Pavement Drawings**

As indicated

Submit for the approval of Development Services Signs and Pavement Marking drawings prepared and certified by a Registered Professional Engineer of Queensland in accordance with the APPROVED DRAWINGS AND DOCUMENTS and the relevant Brisbane Planning Scheme Codes.

Timing: Prior to site/operational/building work commencing.

**119(d) Pre-start Meeting**

As indicated

Arrange and attend a pre-start meeting with Development Services.

Timing: Prior to site/operational work commencing.

**119(e) Implement Approved Drawings**

As indicated

Construct the works in accordance with the above approved drawings.

Timing: Prior to on-maintenance acceptance.

**119(f) Submit As Constructed Drawings**

As indicated

Submit to Development Assessment "As Constructed" drawings including an asset register and a pre-On-Maintenance Inspection Checklist, prepared by a Registered Professional Engineer Queensland.

Timing: Prior to on-maintenance inspection.

**119(g) Submit As Constructed Drawings**

As indicated

Submit to Development Services "As Constructed" drawings including an asset register and a pre-On-Maintenance Inspection Checklist, prepared by a Registered Professional Engineer Queensland.

Timing: Prior to on- maintenance inspection.

<p><b>119(h) Submit Certification</b></p> <p>Submit to Development Services certification from a Registered Professional Engineer Queensland, confirming that the works have been completed in accordance with the above approved drawings.</p> <p>Timing: Prior to on-maintenance inspection.</p>	As indicated
<p><b>120) Work for Transport Network - Road (Trunk)</b></p> <p>Construct the following roadwork with any associated drainage, footpath and services for the Transport Network (Road) shown on the APPROVED DRAWING NUMBER Concept Site Servicing Layout Plan B17040- CSK1030 Issue B, which forms part of former LGIP ID MNW-RC-001 in the Local government infrastructure plan 2014 in accordance with the relevant Brisbane Planning Scheme Codes, the Manual of Uniform Traffic Control Devices - Queensland Department of Transport and Main Roads -Transport Operations (Road Use Management) Act 1995 and the AUSTRROADS design standards:</p> <ul style="list-style-type: none"> <li>- new type E concrete kerb and channel and associated drainage along the full length of the Manly Road frontage of the site on a 3.75 metre alignment (taking into account any road reserve widening if required);</li> <li>- a Suburban type road pavement from the lip of the new kerb and channel to the edge of the existing road pavement with any appropriate tapers (the minimum width of road construction/reconstruction must be 1.2 metres);</li> </ul> <p>Note: Irrespective of the actual widening, the finished road pavement crown must be located along the centreline of the final pavement width</p> <ul style="list-style-type: none"> <li>- signs and pavement markings along the Manly Road frontage</li> </ul> <p>Note: This condition is imposed under section 128(1) of the Planning Act 2016.</p>	Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)
<p><b>120(a) Submit Functional Layout Drawings</b></p> <p>Submit for the approval of Development Services functional layout drawings prepared and certified by a Registered Professional Engineer Queensland in accordance with the APPROVED DRAWINGS AND DOCUMENTS and the relevant Brisbane Planning Scheme Codes.</p> <p>Note: This approval must be obtained prior to the submission of drawings for Roadwork and Stormwater Drainage and Signs and Pavement Marking.</p> <p>Timing: Prior to site/operational/building work commencing.</p>	As indicated
<p><b>120(b) Submit Roadworks and Stormwater Drainage Drawings</b></p> <p>Submit for the approval of Development Services Roadworks and Stormwater Drainage Drawings prepared and certified by a Registered Professional Engineer Queensland in accordance with the APPROVED DRAWINGS AND DOCUMENTS and the relevant Brisbane Planning Scheme Codes.</p>	As indicated

<p>Timing: Prior to site/operational/building work commencing.</p> <p><b>120(c) Submit Signs and Pavement Drawings</b></p> <p>Submit for the approval of Development Services Signs and Pavement Marking drawings prepared and certified by a Registered Professional Engineer of Queensland in accordance with the APPROVED DRAWINGS AND DOCUMENTS and the relevant Brisbane Planning Scheme Codes.</p> <p>Timing: Prior to site/operational/building work commencing.</p> <p><b>120(d) Pre-Start Meeting</b></p> <p>Arrange a pre-start meeting with Development Services.</p> <p>Timing: Prior to site/operational work commencing.</p> <p><b>120(e) Implement Approved Drawings</b></p> <p>Construct the works in accordance with the above approved drawings.</p> <p>Timing: Prior to on-maintenance acceptance.</p> <p><b>120(f) Submit As Constructed Drawings</b></p> <p>Submit to Development Services "As Constructed" drawings including an asset register and a pre-On-Maintenance Inspection Checklist, prepared by a Registered Professional Engineer Queensland.</p> <p>Timing: Prior to on- maintenance inspection.</p> <p><b>120(g) Submit Certification</b></p> <p>Submit to Development Services certification from a Registered Professional Engineer Queensland, confirming that the works have been completed in accordance with the above approved drawings.</p> <p>Timing: Prior to on-maintenance inspection.</p>	<p>As indicated</p> <p>As indicated</p> <p>As indicated</p> <p>As indicated</p> <p>As indicated</p>
<p><b>121) Stormwater Quality (ROL)</b></p> <p>Manage stormwater quality in accordance with this condition.</p> <p><b>121(a) Implement Stormwater Quality Management</b></p> <p>Implement the stormwater quality treatment strategy outlined within the APPROVED DRAWINGS AND DOCUMENTS and any engineering drawings and documents approved pursuant to conditions contained in this development approval.</p> <p>Note: This condition does not require any further approval from Council, although relevant stormwater quality treatments are to be incorporated into designs for road and drainage.</p> <p>Timing: Prior to Council's notation on the plan of subdivision.</p> <p><b>121(b) Submit Certification</b></p>	<p>Prior to Council's notation on the plan of subdivision</p> <p>As indicated</p> <p>As indicated</p>

<p>Submit to Development Services certification from a Registered Professional Engineer Queensland confirming that the stormwater water quality treatment strategy required pursuant to part (a) of this condition has been implemented.</p> <p>Timing: Prior to Council's notation on the plan of subdivision.</p>	
<p><b>122) Site Drainage - Major</b></p> <p>Provide an internal drainage system to collect stormwater run-off from all proposed lots, roofed and developed surface areas and any run-off onto the site from adjacent areas and convey the collected run-off to a lawful point of discharge, in accordance with the relevant Brisbane Planning Scheme Codes.</p> <p>Note: The stormwater design must ensure the stormwater runoff from the site does not adversely impact on flooding or drainage (peak discharge and duration for all storm events up to the 1% AEP event) of properties that are upstream, downstream or adjacent to the site. Some developments may require implementation of one or more mitigation measures to offset adverse impacts, (e.g. stormwater detention, rainwater tanks, and upgrade of stormwater drainage infrastructure).</p> <p>Note: Guidance for the preparation of drawings and/or documents to comply with this condition is provided in the Brisbane Planning Scheme Policies.</p> <p><b>122(a) Submit Site Drainage Drawings</b></p> <p>Submit and obtain approval from Development Services, site drainage drawings and engineering calculations, prepared and certified by a Registered Professional Engineer Queensland, in accordance with the relevant Brisbane Planning Scheme Codes.</p> <p>Timing: Prior to site/operational/building work commencing</p> <p><b>122(b) Implement Approved Drawings</b></p> <p>Carry out the works in accordance with the approved site drainage drawings.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL), and then to be maintained.</p> <p><b>122(c) Submit As Constructed Drawings</b></p> <p>Submit to Development Services "As Constructed" drawings prepared by a Registered Professional Engineer Queensland.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p> <p><b>122(d) Submit Certification</b></p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p> <p>As indicated</p> <p>As indicated</p> <p>As indicated</p> <p>As indicated</p>

<p>Development Services certification from a Registered Professional Engineer Queensland, confirming that the works have been completed in accordance with the above approved site drainage drawings.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	
<p><b>123) Work for Stormwater Network (Non-Trunk)</b></p> <p>Construct stormwater drainage to service the development generally in accordance with Concept Site Servicing Layout Plan B17040-CSK1030Issue B and in accordance with the relevant Brisbane Planning Scheme Codes, ensuring that the works are connected to a lawful point of discharge.</p> <p>Note: Guidance for the preparation of drawings and/or documents to comply with this condition is provided in the Brisbane Planning Scheme Policies.</p> <p>Note: This condition is imposed under section 145 of the Planning Act 2016.</p> <p><b>123(a) Submit Stormwater Drawings</b></p> <p>Submit for the approval of Development Services, stormwater drawings and engineering calculations, prepared and certified by a Registered Professional Engineer Queensland in accordance with the relevant Brisbane Planning Scheme Codes.</p> <p>Timing: Prior to site/operational/building work commencing.</p> <p><b>123(b) Pre-Start Meeting</b></p> <p>Arrange and attend a pre-start meeting with Development Services.</p> <p>Timing: Prior to site/operational work commencing.</p> <p><b>123(c) Implement Approved Drawings</b></p> <p>Construct the works in accordance with the above approved stormwater drawings.</p> <p>Timing: Prior to On-Maintenance Acceptance.</p> <p><b>123(d) Submit As Constructed Drawings</b></p> <p>Submit to Development Services "As Constructed" drawings including an asset register and a pre-On Maintenance Inspection Checklist, prepared by a Registered Professional Engineer Queensland.</p> <p>Timing: Prior to On- Maintenance Inspection.</p> <p><b>123(e) Submit Certification</b></p> <p>Submit to Development Services certification from a Registered Professional Engineer Queensland, confirming that the works</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p> <p>As indicated</p> <p>As indicated</p> <p>As indicated</p> <p>As indicated</p> <p>As indicated</p>



<p>have been completed in accordance with the above approved stormwater drawings.</p> <p>Timing: Prior to on-maintenance inspection.</p>	
<p><b>124) Ponding of Stormwater</b></p> <p>Carry out the approved development to ensure that adjoining properties and roads are protected from ponding or nuisance from stormwater as a result of the works.</p> <p>Notes: If remedial works are necessary to comply with this condition, prior approval must be obtained from Development Services.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>
<p><b>125) Stormwater Quality (MCU)</b></p> <p>Manage stormwater quality in accordance with this condition.</p> <p><b>125(a) Implement Stormwater Quality Management</b></p> <p>Implement the stormwater quality treatment strategy outlined within the APPROVED DRAWINGS AND DOCUMENTS and any engineering drawings and documents approved pursuant to conditions contained in this development approval. Where a proprietary stormwater quality improvement device has been used to meet the water quality objectives, ensure the device has been approved by Brisbane City Council for use in achieving the water quality targets and meets the required manufacturers specifications (in terms of number and size of units and any pre-treatment requirements).</p> <p>Note: This condition does not require any further approval from Council.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), and then to be maintained.</p> <p><b>125(b) Water Quality Maintenance Management Plan</b></p> <p>Prepare and implement a Water Quality Maintenance Management Plan in accordance with the Water by Design 'WSUD Technical Design Guidelines for South East Queensland'. The plan must be prepared and certified by a Registered Professional Engineer Queensland.</p> <p>Note: This condition does not require any further approval from Council.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), and then to be maintained.</p> <p><b>125(c) Submit Certification</b></p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first, and then to be maintained As indicated</p> <p>As indicated</p> <p>As indicated</p>

<p>Submit to Development Services certification from a Registered Professional Engineer Queensland confirming that the stormwater quality treatments strategy required pursuant to part (a) of this condition has been implemented and where a proprietary stormwater quality improvement device has been used to meet the water quality objectives, the device has been approved by Brisbane City Council for use in achieving the water quality targets and meets the required manufacturers specifications (in terms of number and size of units and any pre-treatment requirements).</p> <p>Note: Manufacturers that have approved devices by Brisbane City Council will be able to provide evidence of Council approval for use.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW).</p>	
<p><b>125(d) Maintain Management Plans</b></p> <p>Maintain the certified Water Quality Maintenance Plan and the stormwater quality treatment strategy required pursuant to part (a) of this condition. Include the Water Quality Maintenance Plan in any building management strategy, building management statement or community management statement.</p> <p>Timing: To be maintained.</p>	<p>As indicated</p>
<p><b>126) Street Lighting</b></p> <p>Provide street lighting in accordance with the requirements of this condition.</p> <p><b>126(a) Lighting system design</b></p> <p>Submit for the approval of Asset Services, street lighting design drawings showing the proposed street lighting system in accordance with the relevant Brisbane Planning Scheme Codes.</p> <p>Note: In accordance with Council's objective to promote sustainable development, the use of LED lighting systems is encouraged where the LED lighting achieves outcomes equivalent to the standards contained in the relevant Brisbane Planning Scheme Codes.</p> <p>Timing: Prior to site/operational/building work commencing.</p> <p><b>126(b) Agreement with Supplier</b></p> <p>Submit to Development Services, evidence of an agreement with an electricity supply authority to provide a public lighting system in accordance with the approved street lighting design drawings.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p> <p>As indicated</p> <p>As indicated</p>



<ul style="list-style-type: none"> <li>- The conduit must bypass the Telecommunication Carrier pits.</li> <li>- Pits (minimum size, Type 4 as per BCC Drawing UMS 600/031) with lids (as per Drawing UMS 600/030 - but Class B instead of Class C) must be installed at the "dead ends" of the conduit, both sides of road crossings, at intersections and at other locations that may be specified by Council.</li> <li>- The conduit must be plugged at each pit.</li> <li>- The conduit must be located and installed in such a way that facilitates the installation of cable and additional pits in the future.</li> </ul>	
<p><b>128(a) Submit "As Constructed" Drawings</b></p> <p>Submit to Development Services, "As Constructed" drawings, including an asset register, prepared by a Registered Professional Engineer Queensland.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	As indicated
<p><b>128(b) Submit Certification</b></p> <p>Submit to Development Services certification from a Registered Professional Engineer Queensland, confirming that the works have been completed in accordance with the requirements of this condition.</p> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p>	As indicated
<p><b>129) Telecommunications</b></p> <p>Submit to Development Services, evidence of an agreement with a telecommunication carrier to provide underground telecommunication services within and adjacent to the proposed development in accordance with the relevant Brisbane Planning Scheme Codes.</p>	Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)
<p><b>130) Agreement with Electricity Supplier</b></p> <p>Submit to Development Services, evidence of an agreement with an electricity supplier to provide necessary services to the development in accordance with the relevant Brisbane Planning Scheme Codes.</p> <p>Where development is proposed within an established area of overhead electricity supply and the electricity supplier determines that a property pole is the appropriate solution to supply electricity to the development, the developer must be responsible for the installation of the property pole(s).</p> <p>In the above circumstances, submit to Development Services, certification from the developer's electrical consultant confirming that the above installation has been completed in accordance with the relevant AS/NZS Standards and the <i>Queensland Electrical Connection and Metering Manual</i>.</p>	Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)
<p><b>131) Construct Private Internal Fire Main and Hydrant</b></p>	Prior to issue of Certificate of Classification/Final Inspection

Construct a private internal fire main and fire hydrant(s) to serve the development. The installation is to satisfy requirements for internal hydrants within the current version of AS2419.

**Notes:**

- The private fire main shall be supplied from a Queensland Urban Utilities (QUU) water service and meter with detector check valve bypass. This water service requirement is to be included in the development's Water Approval.
- Private fire hydrants are required where any point of a possible building envelope is more than 90 metres (when the distance is measured around the perimeter of the building envelope) from a QUU hydrant.
- Ownership and maintenance requirements for the private main and hydrant shall lie with a single legal entity, which represents the owner(s) of any property served by the private main and hydrant. This legal entity is to be to the satisfaction of QUU for billing purposes and is to be a requirement of the development's Water Approval.
- This legal entity shall remain in place for the life of the development, be responsible for the cost of water consumption charges at the QUU boundary meter, and be responsible for maintaining the private fire main and hydrant, for the life of the development.
- The responsibilities of legal entity shall remain in effect on transfer of the property title.
- The private main and hydrant shall be located in a 4 metre wide easement to allow 24 hour access for fire and rescue, and maintenance vehicles.
- A minimum clear area of 10 metres by 4 metres shall be provided at any hydrant.
- Hydrants shall be pillar type.
- Flushing points shall be provided on the private main.
- Any concrete pavement slabs placed over the main shall be a maximum 0.6 metres square.

**131(a) Submit Hydraulic Plan**

Submit detailed hydraulics plans showing the design of the work and obtain a Compliance Permit for regulated work (Plumbing and Drainage Installation) under the Plumbing and Drainage Act 2002 from the Manager, Plumbing Services Group.

Timing: Prior to site/operational/building work commencing.

**131(b) Implement Approved Plans**

Construct the works in accordance with the approved hydraulics plan.  
Obtain a Compliance Certificate for the constructed works from the Manager, Plumbing Services Group.

Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).

**131(c) Submit Documentation**

Submit the following documentation to Development Services:  
- Submit a copy of the Compliance Certificate from the

Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)

As indicated

As indicated

As indicated

<p>Manager, Plumbing Services Group</p> <ul style="list-style-type: none"> <li>- Submit a copy of the QUU Connection Certificate, indicating all requirements of the development's Water Approval have been satisfied.</li> <li>- Submit an undertaking that future and potential property owners will be advised of the private fire fighting infrastructure, who owns that infrastructure and the maintenance responsibilities for the infrastructure.</li> </ul> <p>Timing: Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL).</p> <p><b>131(d) Notify Future Owners</b></p> <p>The developer must notify all future and potential property owners of the private fire main and hydrants, and ownership responsibilities for the private fire main and fire hydrant.</p> <p>Timing: To be maintained.</p>	<p>As indicated</p>
<p><b>132) Permanent Vehicle Crossover</b></p> <p>Provide an 8.0 metre wide Type B2 permanent vehicle crossover to the southern frontage of Oasis Close/New Road frontage of the site in accordance with the relevant Brisbane Planning Scheme Codes and located as shown on the approved DRAWINGS AND DOCUMENTS.</p> <p>Note: No further permits are required to carry out these works and street trees must not be removed without prior approval from Asset Services.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>
<p><b>133) Redundant Crossover</b></p> <p>Remove the redundant existing vehicle crossing(s) on the frontage (s) of the site and reinstate the kerb and channel, road pavement, footways and footpaths in accordance with the relevant Brisbane Planning Scheme Codes.</p>	<p>Prior to issue of Certificate of Classification/Final Inspection Certificate or prior to commencement of use, whichever comes first (MCU or BW), or prior to Council's notation of the plan of subdivision (ROL)</p>

### Standard Advice

	<b>Timing</b>
<p><b>134) Construction Noise and Dust Emissions</b></p> <p>Pursuant to the Environmental Protection Act 1994, all development involving the emission of noise and dust from building and/or construction activities, must ensure that the emissions are in accordance with the requirements of the Act.</p> <p>The Environmental Protection Act 1994 prescribes that:</p> <ol style="list-style-type: none"> <li>1. A person must not carry out building work in a way that makes an audible noise- <ul style="list-style-type: none"> <li>- on a business day or Saturday, before 6.30a.m. or after 6.30p.m;</li> <li>or</li> <li>- on any other day, at any time.</li> </ul> </li> <li>2. The reference in subsection (1) to a person carrying out building work- <ul style="list-style-type: none"> <li>- includes a person carrying out building work under an owner-</li> </ul> </li> </ol>	<p>As indicated</p>

<p>builder permit; and</p> <ul style="list-style-type: none"> <li>- otherwise does not include a person carrying out building work at premises used by the person only for residential purposes.</li> </ul> <p>Note: A request can be made to work outside of these hours by submitting an Environmental Management Plan for assessment and obtaining an endorsed decision from the Environmental Management delegate Development Services.</p>	
<p><b>135) Currency Period</b></p> <p>The currency period for this development approval is stated in the Decision Notice.</p> <p>The currency period for this development approval is expressed as a date.</p> <p>This development approval lapses at the end of the currency period (the date stated in the decision notice) if:</p> <ul style="list-style-type: none"> <li>- for a material change of use, the first change of use does not happen;</li> <li>- for reconfiguring a lot, the plan of subdivision for the reconfiguration is not given to Council; or</li> <li>- for any other development (including building work and operational work), the development does not substantially start.</li> </ul> <p>The currency period is determined by Council pursuant to section 85 of the Planning Act 2016.</p>	<p>As indicated</p>
<p><b>136) Advice</b></p> <p>Please note that the information contained in this section under the heading Standard Advice has been provided as advice only and does not form part of the development approval conditions. This information has been provided to advise of other obligations under state legislation or local laws that may require action to be undertaken prior to commencing the activity approved by this development approval.</p>	<p>As indicated</p>
<p><b>137) Cultural Heritage</b></p> <p>Aboriginal cultural heritage is protected under the Aboriginal Cultural Heritage Act 2003 This Act establishes a cultural heritage duty of care and in section 23(1) mandates that a person who carries out an activity must take all reasonable and practicable measures for ensuring activities are managed to avoid or minimise harm to Aboriginal cultural heritage. The Duty of Care Guidelines gazetted pursuant to the Aboriginal Cultural Heritage Act 2003 provide guidance on identifying and protecting Aboriginal cultural heritage to fulfil the duty of care.</p> <p>If you are unsure of your obligations contact the relevant Queensland State Government Department (Department of Aboriginal and Torres Strait Islander Partnerships).</p>	<p>As indicated</p>
<p><b>138) Damage to Trees on Adjoining Lots</b></p> <p>Please note that any damage caused to vegetation on adjoining lots as a result of exercising this development approval may result in civil action.</p>	<p>As indicated</p>

<p><b>139) Fire Ant Movement Controls</b></p> <p>To prevent the spread of fire ants, the Queensland Government has implemented movement controls in areas of Queensland (biosecurity zones) where this pest species has been detected. These controls apply to individuals and commercial operators, and restrict the movement of materials that could carry fire ants which include soil, turf, potted plants, mulch, baled hay or straw, animal manures, mining or quarry products.</p> <p>Breaches of these controls can potentially impact the community, economy and the environment. Penalties for non-compliance with movement controls within fire ant biosecurity zones apply under the Biosecurity Act 2014.</p> <p>If you are unsure of your obligations contact the relevant Queensland State Government Department (Biosecurity Queensland, Department of Agriculture and Fisheries).</p>	As indicated
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Permit to Which These Conditions Relate:	DA - PA - Referral Agency for Building Work
Activity(ies):	Amenity and aesthetics
Stage:	

**Standard Advice**

	<b>Timing</b>
<p><b>140) Early Referral Agency Response (Amenity and Aesthetics)</b></p> <p>Council has chosen to issue an early referral agency response under section 57 of the Planning Act 2016 for amenity and aesthetics impact of the proposed building work (Planning Regulation 2017, Schedule 9, Part 3, Division 2, Table 1). The response is attached to this decision notice.</p>	As indicated

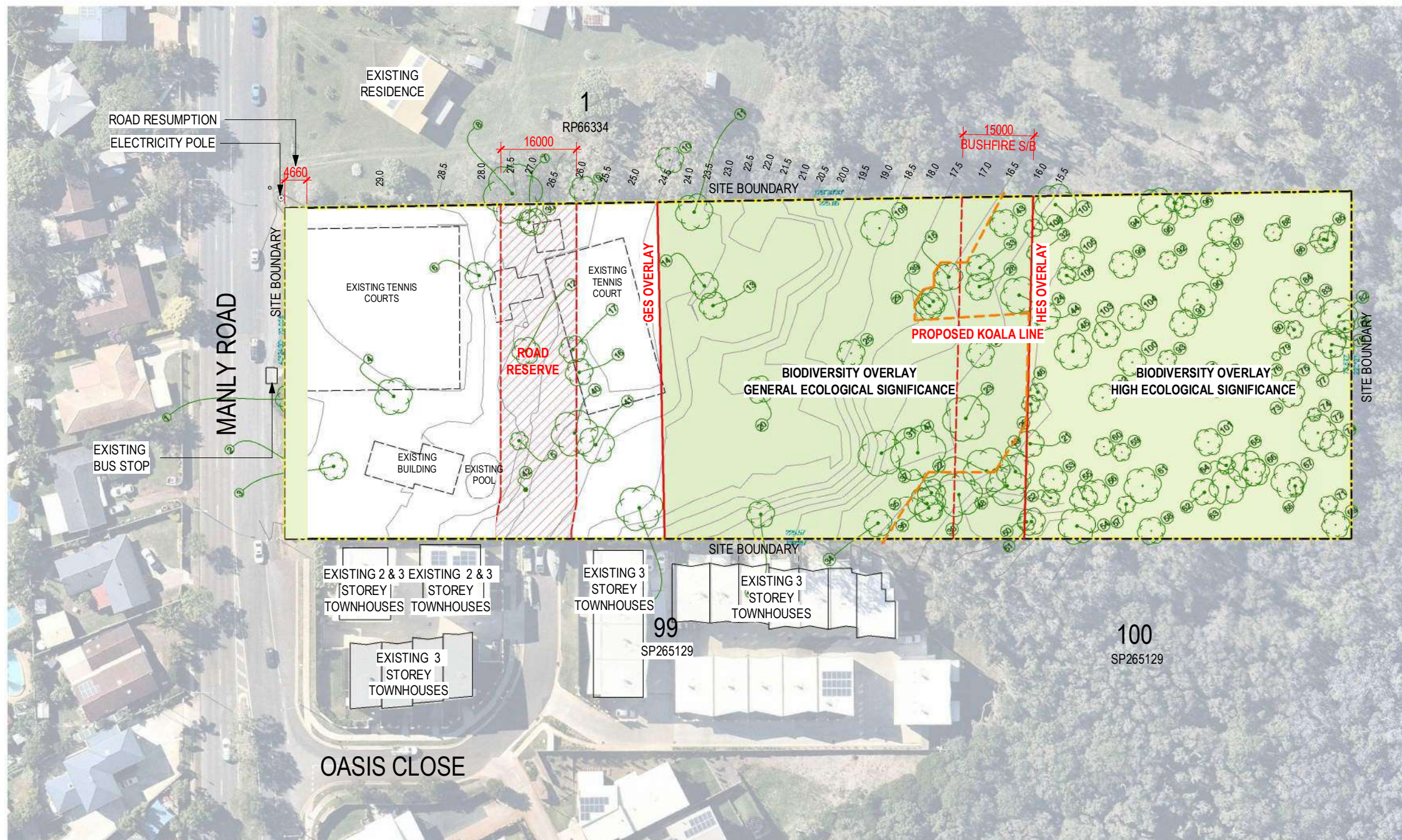
**\*\* End of Package \*\***

# ANNEXURE F

# APPROVED DRAWINGS

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SOURCE: BRISBANE CITY COUNCIL



Received  
14/09/2018  
BCC DS

**PLANS AND DOCUMENTS**  
referred to in the  
**APPROVAL**  
Dated: 26 October 2018

THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.

**FOR APPROVAL**

Revisions	Date	Description	Author
-	14.07.17	DEVELOPMENT APPLICATION	JF
A	09.03.18	RFI RESPONSE	JF
B	17.08.18	FURTHER ISSUES RESPONSE 2	JF
C	14.09.18	FURTHER ISSUES RESPONSE 3	JF

Project **378 Manly Road, Manly West**

Drawing **Site Constraints Plan**

Project No **217068**

Date **07.07.16**

Author **JF/CZ**

Scale: @ A3 **1 : 1000**

Drawing No. **TP01.01 C**

**rothelowman**

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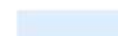














Brisbane, Melbourne, Sydney  
www.rothelowman.com.au

**PLANS AND DOCUMENTS**

referred to in the  
**APPROVAL**

Dated: 26 October 2018

**LEGEND**

	TYPE A1 - 2 STOREYS (WIDE)		BULK BIN (1100L)		EXISTING LEVELS
	TYPE A2 - 2 STOREYS		OPEN SPACE - PUBLIC		PROPOSED LEVELS
	TYPE B - 2 STOREYS		OPEN SPACE - PRIVATE		RETAINING WALL TERRACED ZONE
	TYPE C - 2 STOREYS (SPLIT LEVEL)		INDICATES RETAINING		TRUCK MOVEMENT PATH
	TYPE D - 3 STOREYS (SPLIT LEVEL)		PROPOSED KOALA PROTECTION LINE		HES / GES OVERLAY

**NOTES:**

- MASTER PLAN & ALL ARCHITECTURAL DRAWINGS TO BE READ INCONJUNCTION WITH ALL CONSULTANT REPORTS & DRAWINGS: TOWN PLANNING, CIVIL, TRAFFIC, ECOLOGY & LANDSCAPE.
- REFER TP04.01-TP04.04 FOR 1:100 SCALE DETAIL TERRACE HOME FLOOR PLANS
- REFER TP01.07 FOR PRIVATE OPEN SPACE AREAS



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1 Overall Site Plan  
SCALE 1 : 1000

**FOR APPROVAL**

Revisions	- 14.07.17	DEVELOPMENT APPLICATION	JF
	A 09.03.18	RFI RESPONSE	JF
	B 17.08.18	FURTHER ISSUES RESPONSE 2	JF
	C 14.09.18	FURTHER ISSUES RESPONSE 3	JF

Project **378 Manly Road, Manly West**

Drawing **Proposed Overall Site Master Plan**

Project No **217068** Date **07.07.16**

Author **JF/CZ** Scale: @ A3 **As indicated**

Drawing No. **TP01.02 C**

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NOTE: ROAD CORRIDOR DESIGN TO BE IN ACCORDANCE WITH ENGINEERING DRAWINGS

LEGEND

- TYPE A1 - 2 STOREYS (WIDE)
- TYPE A2 - 2 STOREYS
- TYPE B - 2 STOREYS
- TYPE C - 2 STOREYS (SPLIT LEVEL)
- TYPE D - 3 STOREYS (SPLIT LEVEL)
- BULK BIN (1100L)
- OPEN SPACE - PUBLIC
- OPEN SPACE - PRIVATE
- INDICATES RETAINING
- PROPOSED KOALA PROTECTION LINE
- EXISTING LEVELS
- PROPOSED LEVELS
- RETAINING WALL TERRACED ZONE
- TRUCK MOVEMENT PATH
- HES / GES OVERLAY

NOTES:

- MASTER PLAN & ALL ARCHITECTURAL DRAWINGS TO BE READ INCONJUNCTION WITH ALL CONSULTANT REPORTS & DRAWINGS: TOWN PLANNING, CIVIL, TRAFFIC, ECOLOGY & LANDSCAPE.
- REFER TP04.01-TP04.04 FOR 1:100 SCALE DETAIL TERRACE HOME FLOOR PLANS
- REFER TP01.07 FOR PRIVATE OPEN SPACE AREAS



MANLY ROAD

OASIS CLOSE

CONTINUATION OF SITE

FOR APPROVAL

The configuration of the proposed deck area is to be designed to ensure that the Tree Protection Zones to all retained trees (including the non-juvenile koala habitat trees) can be achieved

Revisions	Project	Drawing	Project No	Date
- 14.07.17	DEVELOPMENT APPLICATION	JF	217068	07.07.16
A 09.03.18	RFI RESPONSE	JF		
B 21.06.18	FURTHER ISSUES RESPONSE	JF		
C 17.08.18	FURTHER ISSUES RESPONSE 2	JF		
D 14.09.18	FURTHER ISSUES RESPONSE 3	JF		

378 Manly Road, Manly West

Proposed Ground Floor Master Plan

Project No 217068 Date 07.07.16

TP01.03 D rothelowman

PLANS AND DOCUMENTS referred to in the APPROVAL

Dated: 26 October 2018




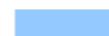








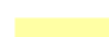


AMENDED IN RED 12 October 2018

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**PLANS AND DOCUMENTS**  
referred to in the  
**APPROVAL**

Dated: 26 October 2018

**LEGEND**

	TYPE A1 - 2 STOREYS (WIDE)		BULK BIN (1100L)		EXISTING LEVELS
	TYPE A2 - 2 STOREYS		OPEN SPACE - PUBLIC		PROPOSED LEVELS
	TYPE B - 2 STOREYS		OPEN SPACE - PRIVATE		RETAINING WALL TERRACED ZONE
	TYPE C - 2 STOREYS (SPLIT LEVEL)		INDICATES RETAINING		TRUCK MOVEMENT PATH
	TYPE D - 3 STOREYS (SPLIT LEVEL)		PROPOSED KOALA PROTECTION LINE		HES / GES OVERLAY

**NOTES:**

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- REFER TP04.01-TP04.04 FOR 1:100 SCALE DETAIL TERRACE HOME FLOOR PLANS
- REFER TP01.07 FOR PRIVATE OPEN SPACE AREAS



MANLY ROAD

CONTINUATION OF SITE

BIODIVERSITY OVERLAY  
HIGH ECOLOGICAL  
SIGNIFICANCE

**FOR APPROVAL**

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Revisions	14.07.17	DEVELOPMENT APPLICATION	JF
	09.03.18	RFI RESPONSE	JF
	17.08.18	FURTHER ISSUES RESPONSE 2	JF
	14.09.18	FURTHER ISSUES RESPONSE 3	JF

Project **378 Manly Road, Manly West**

Drawing **Proposed Level 1 Master Plan**

Project No **217068** Date **07.07.16** Author **JF/CZ**

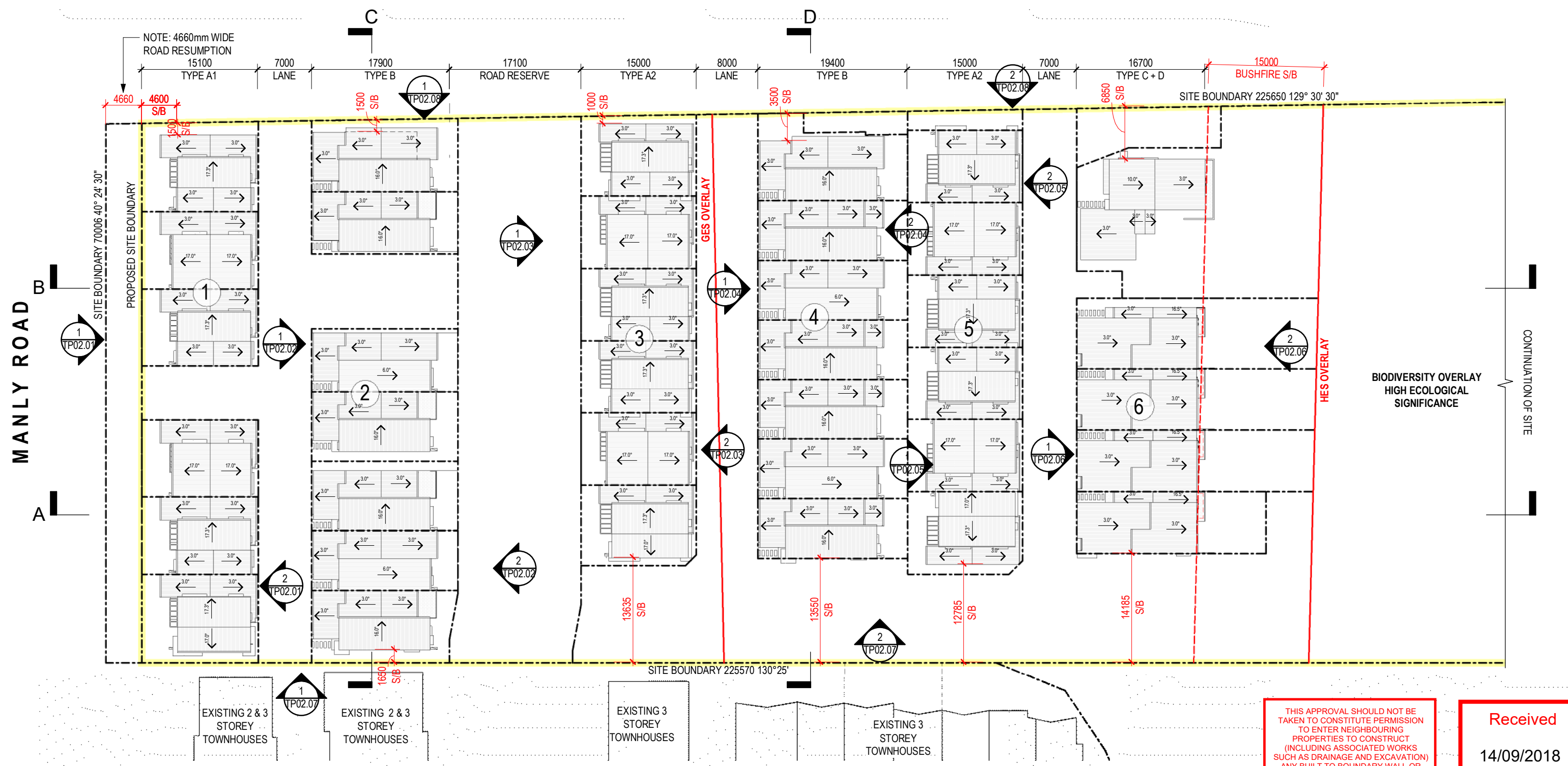
Scale: @ A3 **1 : 500** Drawing No: **TP01.04 C**

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referred to in the  
**APPROVAL**  
Dated: 26 October 2018



MANLY ROAD

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Revisions	Date	Description	Author
A	09.03.18	DEVELOPMENT APPLICATION	JF
B	17.08.18	RFI RESPONSE	JF
C	14.09.18	FURTHER ISSUES RESPONSE 2	JF
		FURTHER ISSUES RESPONSE 3	JF

Project **378 Manly Road, Manly West**

Drawing **Proposed Roof Level Master Plan**

Project No **217068** Date **07.07.16** Author **JF/CZ** Scale: @ A3 **1 : 500**

Drawing No **TP01.05 C**

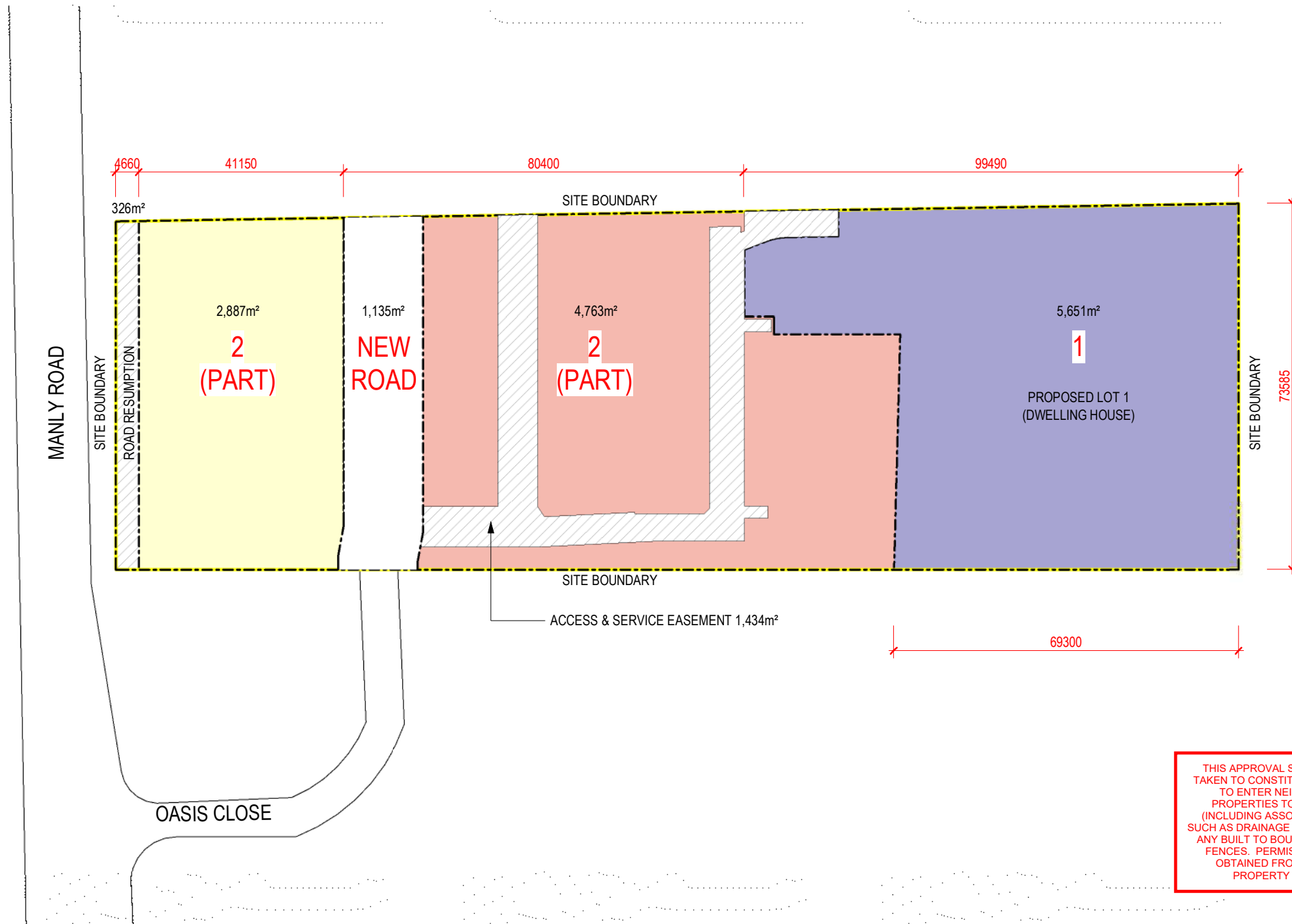
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Revisions	Date	Description	Author
-	14.07.17	DEVELOPMENT APPLICATION	JF
A	09.03.18	RFI RESPONSE	JF
B	17.08.18	FURTHER ISSUES RESPONSE 2	JF
C	14.09.18	FURTHER ISSUES RESPONSE 3	JF

Project **378 Manly Road, Manly West**

Drawing **Indicative Subdivision Layout Plan**

Project No **217068** Date **13.07.17**

Author **CZ/JF**

Scale: @ A3 **1 : 1000**

Drawing No. **TP01.06 C**

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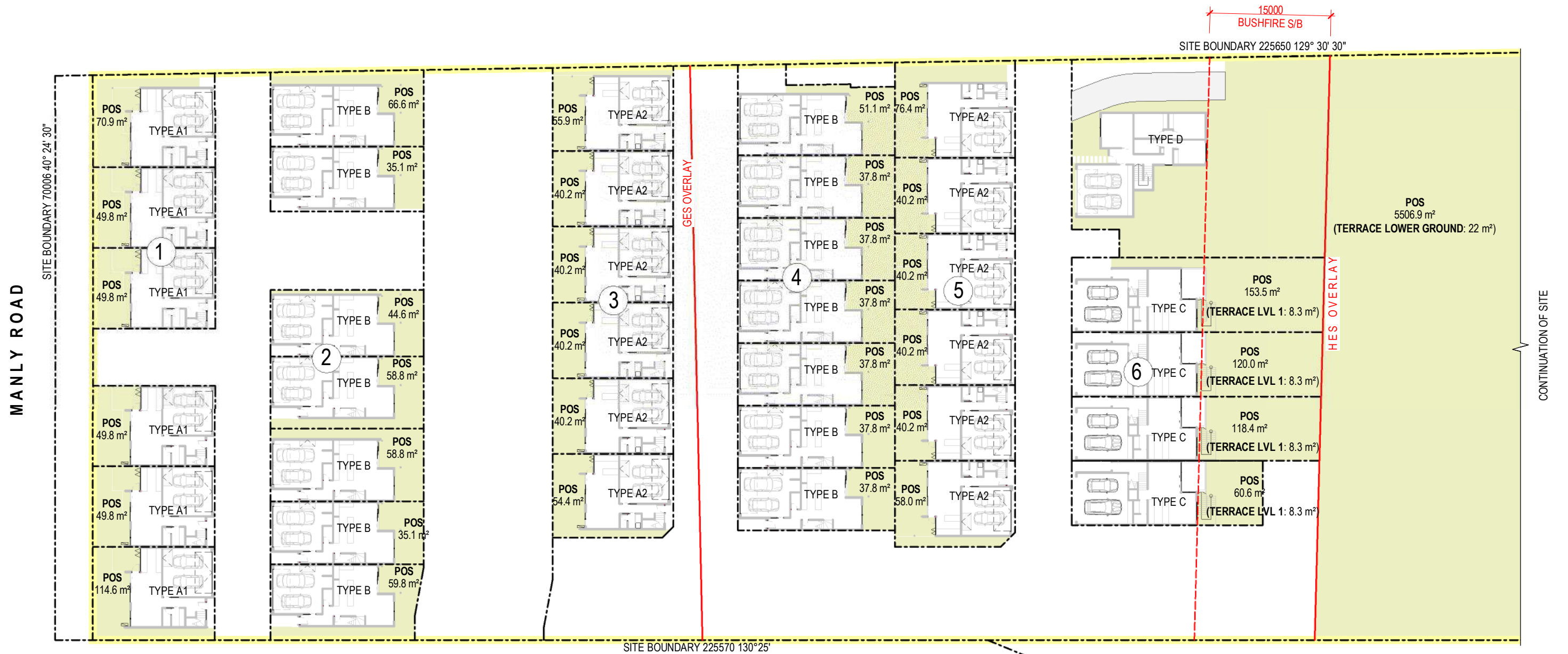
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**PLANS AND DOCUMENTS**

referred to in the  
**APPROVAL**

Dated: **26 October 2018**



**FOR APPROVAL**

Revisions	Date	Description	Author
-	14.07.17	DEVELOPMENT APPLICATION	JF
A	09.03.18	RFI RESPONSE	JF
B	17.08.18	FURTHER ISSUES RESPONSE 2	JF
C	14.09.18	FURTHER ISSUES RESPONSE 3	JF

Project / **378 Manly Road, Manly West**

Drawing / **Private Open Space Plan**

Project No / **217068**

Date / **17.07.17**

Author / **CZ**

Scale: @ A3 / **1 : 500**

Drawing No. / **TP01.07 C**

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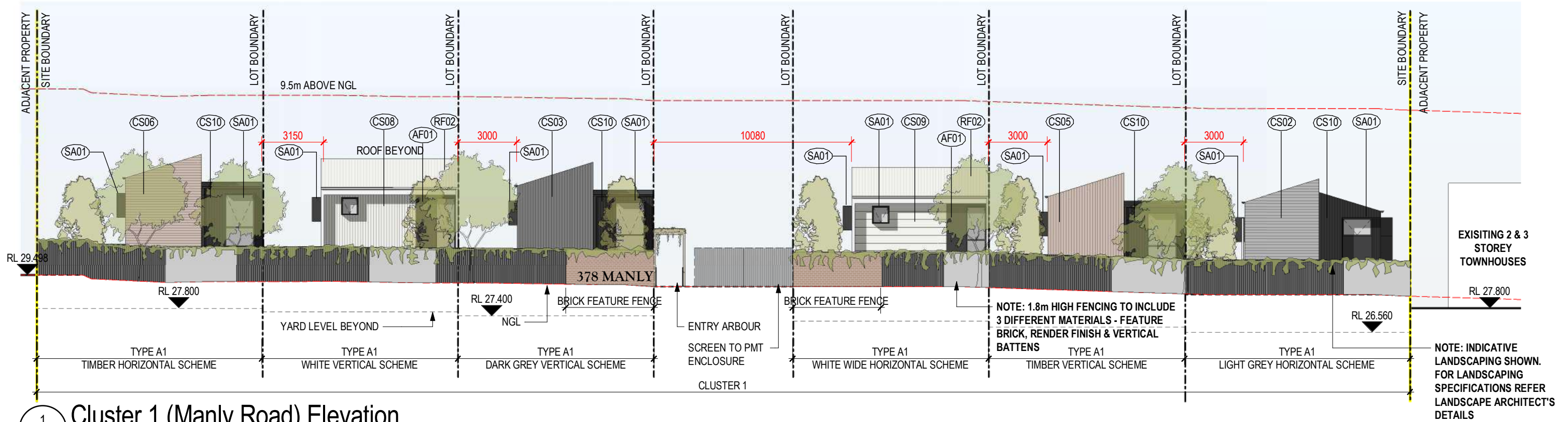
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1 Cluster 1 (Manly Road) Elevation  
SCALE 1 : 200

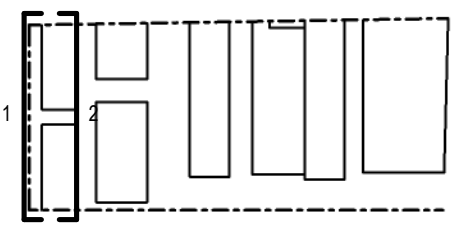
Received  
14/09/2018  
BCC DS



2 Cluster 1 Laneway Elevation  
SCALE 1 : 200

**FOR APPROVAL**

- (AF01) APPLIED FINISH - RENDER DARK
- (AF02) APPLIED FINISH - RENDER GREY
- (CS01) CLADDING TYPE 1 - LIGHT GREY VERTICAL
- (CS02) CLADDING TYPE 2 - LIGHT GREY HORIZONTAL
- (CS03) CLADDING TYPE 3 - DARK GREY VERTICAL
- (CS04) CLADDING TYPE 4 - DARK GREY HORIZONTAL
- (CS05) CLADDING TYPE 5 - TIMBER LOOK VERTICAL
- (CS06) CLADDING TYPE 6 - TIMBER LOOK HORIZONTAL
- (CS07) CLADDING TYPE 7 - WHITE HORIZONTAL
- (CS08) CLADDING TYPE 8 - WHITE VERTICAL
- (CS09) CLADDING TYPE 9 - WHITE WIDE HORIZONTAL
- (CS10) CLADDING TYPE 10 - DARK VERTICAL
- (GD01) GARAGE DOOR - DARK
- (GT01) GLASS TYPE 1 - TINTED
- (RF01) ROOF SHEETING - DARK FINISH
- (RF02) ROOF SHEETING - LIGHT FINISH
- (SA01) SUN AWNING TYPE 1 - DARK
- (BA01) BALUSTRADE TYPE 1 - METAL VERTICAL
- (BA02) BALUSTRADE TYPE 2 - GLASS



Revisions	Project	Drawing
- 14.07.17	DEVELOPMENT APPLICATION	JF
A 09.03.18	RFI RESPONSE	JF
B 17.08.18	FURTHER ISSUES RESPONSE 2	JF
C 14.09.18	FURTHER ISSUES RESPONSE 3	JF

Project **378 Manly Road, Manly West**  
Drawing **Cluster Elevations - Sheet 1**

Project No **217068** Date **07.07.16** Author **JF/CZ** Scale: @ A3 **1 : 200** Drawing No: **TP02.01 C**

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**PLANS AND DOCUMENTS referred to in the APPROVAL**  
Dated: 26 October 2018

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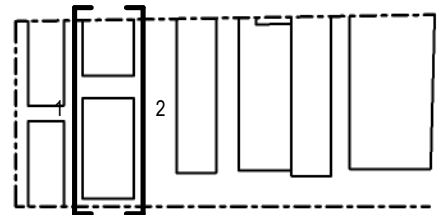
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 14/09/2018  
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1 Cluster 2 Laneway Elevation  
SCALE 1 : 200



2 Cluster 2 Public Road Elevation  
SCALE 1 : 200

- |  |   |  |   |
|--|---|--|---|
| (AF01) APPLIED FINISH - RENDER DARK            | (CS04) CLADDING TYPE 4 - DARK GREY HORIZONTAL   | (CS09) CLADDING TYPE 9 - WHITE WIDE HORIZONTAL | (RF02) ROOF SHEETING - LIGHT FINISH       |
| (AF02) APPLIED FINISH - RENDER GREY            | (CS05) CLADDING TYPE 5 - TIMBER LOOK VERTICAL   | (CS10) CLADDING TYPE 10 - DARK VERTICAL        | (SA01) SUN AWNING TYPE 1 - DARK           |
| (CS01) CLADDING TYPE 1 - LIGHT GREY VERTICAL   | (CS06) CLADDING TYPE 6 - TIMBER LOOK HORIZONTAL | (GD01) GARAGE DOOR - DARK                      | (BA01) BALUSTRADE TYPE 1 - METAL VERTICAL |
| (CS02) CLADDING TYPE 2 - LIGHT GREY HORIZONTAL | (CS07) CLADDING TYPE 7 - WHITE HORIZONTAL       | (GT01) GLASS TYPE 1 - TINTED                   | (BA02) BALUSTRADE TYPE 2 - GLASS          |
| (CS03) CLADDING TYPE 3 - DARK GREY VERTICAL    | (CS08) CLADDING TYPE 8 - WHITE VERTICAL         | (RF01) ROOF SHEETING - DARK FINISH             |   |



**FOR APPROVAL**

Revisions			
-	14.07.17	DEVELOPMENT APPLICATION	JF
A	09.03.18	RFI RESPONSE	JF
B	17.08.18	FURTHER ISSUES RESPONSE 2	JF
C	14.09.18	FURTHER ISSUES RESPONSE 3	JF

Project / **378 Manly Road, Manly West**

Drawing / **Cluster Elevations - Sheet 2**

Project No / **217068**

Date / **07.07.16**

Author / **JF/CZ**

Scale: @ A3 / **1 : 200**

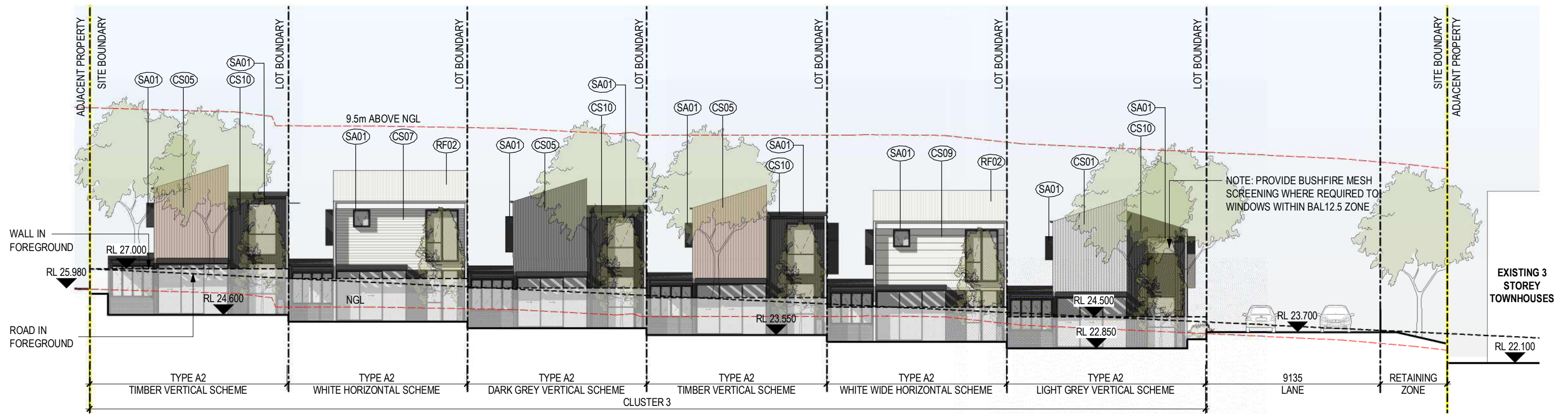
Drawing No: / **TP02.02 C**

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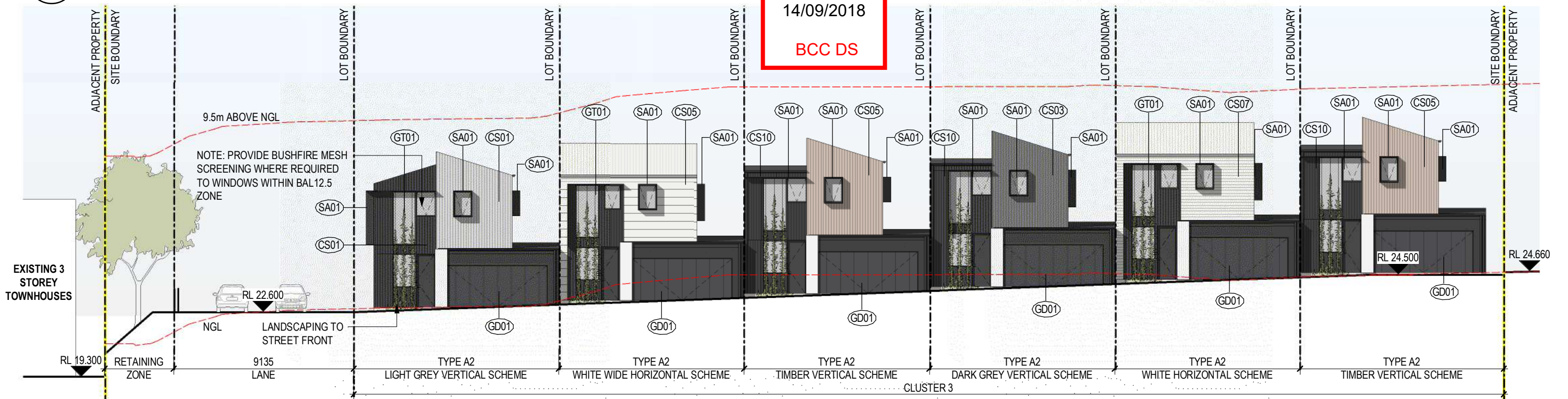
**PLANS AND DOCUMENTS**  
 referred to in the  
**APPROVAL**  
 Dated: 26 October 2018

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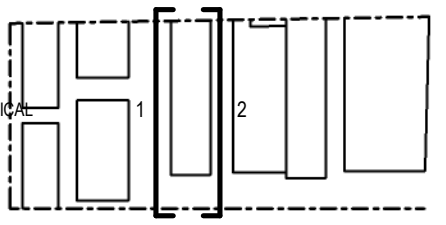
1 Cluster 3 Public Road Elevation  
SCALE 1 : 200

Received  
14/09/2018  
BCC DS



2 Cluster 3 Laneway Elevation  
SCALE 1 : 200

- (AF01) APPLIED FINISH - RENDER DARK
- (AF02) APPLIED FINISH - RENDER GREY
- (CS01) CLADDING TYPE 1 - LIGHT GREY VERTICAL
- (CS02) CLADDING TYPE 2 - LIGHT GREY HORIZONTAL
- (CS03) CLADDING TYPE 3 - DARK GREY VERTICAL
- (CS04) CLADDING TYPE 4 - DARK GREY HORIZONTAL
- (CS05) CLADDING TYPE 5 - TIMBER LOOK VERTICAL
- (CS06) CLADDING TYPE 6 - TIMBER LOOK HORIZONTAL
- (CS07) CLADDING TYPE 7 - WHITE HORIZONTAL
- (CS08) CLADDING TYPE 8 - WHITE VERTICAL
- (CS09) CLADDING TYPE 9 - WHITE WIDE HORIZONTAL
- (CS10) CLADDING TYPE 10 - DARK VERTICAL
- (GD01) GARAGE DOOR - DARK
- (GT01) GLASS TYPE 1 - TINTED
- (RF01) ROOF SHEETING - DARK FINISH
- (RF02) ROOF SHEETING - LIGHT FINISH
- (SA01) SUN AWNING TYPE 1 - DARK
- (BA01) BALUSTRADE TYPE 1 - METAL VERTICAL
- (BA02) BALUSTRADE TYPE 2 - GLASS



**FOR APPROVAL**

Revisions		Project
-	14.07.17	DEVELOPMENT APPLICATION
A	09.03.18	RFI RESPONSE
B	14.09.18	FURTHER ISSUES RESPONSE 3

Project / **378 Manly Road, Manly West**

Drawing / **Cluster Elevations - Sheet 3**

Project No / **217068** Date / **07.07.16**

Author / **JF/CZ**

Scale: @ A3 / **1 : 200**

Drawing No. / **TP02.03 B**

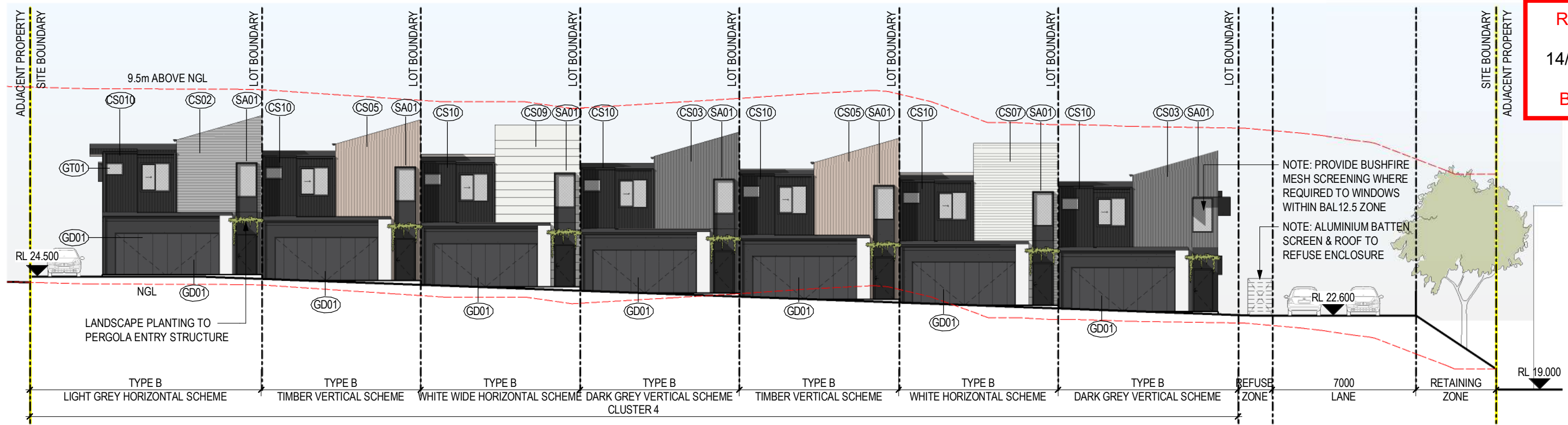
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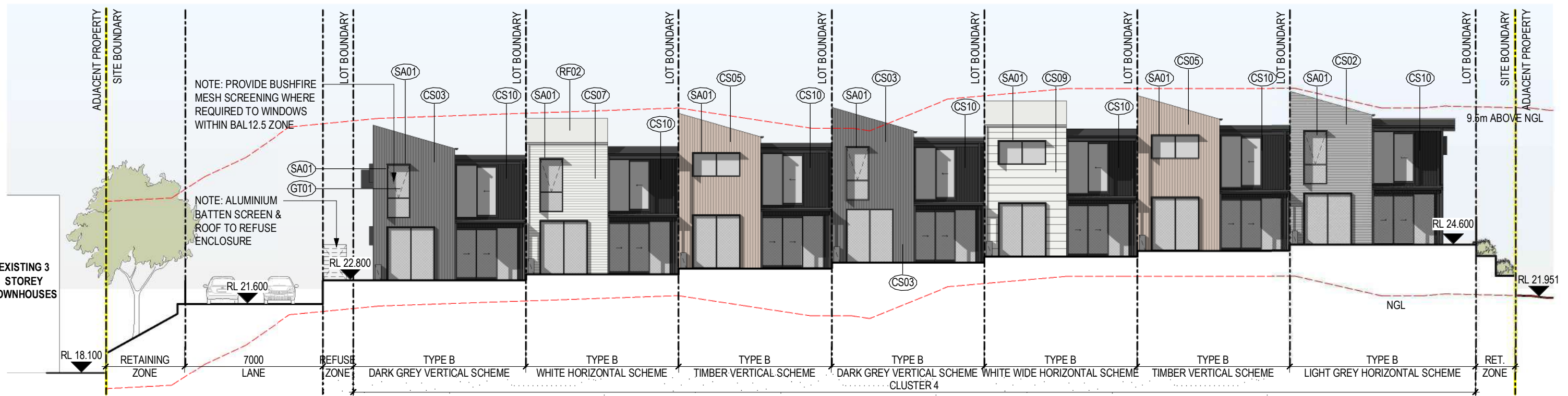
**THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.**

**PLANS AND DOCUMENTS** referred to in the **APPROVAL**  
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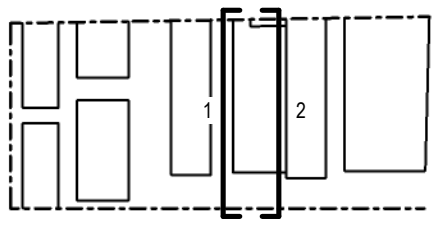


1 Cluster 4 Laneway Elevation  
SCALE 1 : 200



2 Cluster 4 Rear Elevation  
SCALE 1 : 200

- AF01 APPLIED FINISH - RENDER DARK
- AF02 APPLIED FINISH - RENDER GREY
- CS01 CLADDING TYPE 1 - LIGHT GREY VERTICAL
- CS02 CLADDING TYPE 2 - LIGHT GREY HORIZONTAL
- CS03 CLADDING TYPE 3 - DARK GREY VERTICAL
- CS04 CLADDING TYPE 4 - DARK GREY HORIZONTAL
- CS05 CLADDING TYPE 5 - TIMBER LOOK VERTICAL
- CS06 CLADDING TYPE 6 - TIMBER LOOK HORIZONTAL
- CS07 CLADDING TYPE 7 - WHITE HORIZONTAL
- CS08 CLADDING TYPE 8 - WHITE VERTICAL
- CS09 CLADDING TYPE 9 - WHITE WIDE HORIZONTAL
- CS10 CLADDING TYPE 10 - DARK VERTICAL
- GD01 GARAGE DOOR - DARK
- GT01 GLASS TYPE 1 - TINTED
- RF01 ROOF SHEETING - DARK FINISH
- RF02 ROOF SHEETING - LIGHT FINISH
- SA01 SUN AWNING TYPE 1 - DARK
- BA01 BALUSTRADE TYPE 1 - METAL VERTICAL
- BA02 BALUSTRADE TYPE 2 - GLASS



**FOR APPROVAL**

Revisions	Project	Drawing	Project No	Date	Author	Scale	Drawing No
- 09.03.18 A 14.09.18	RFI RESPONSE FURTHER ISSUES RESPONSE 3	JF JF	378 Manly Road, Manly West	217068	16.01.18	CZ	TP02.04 A

Project 378 Manly Road, Manly West  
Drawing Cluster Elevations - Sheet 4

Project No 217068 Date 16.01.18 Author CZ Scale: @ A3 1 : 200 Drawing No TP02.04 A

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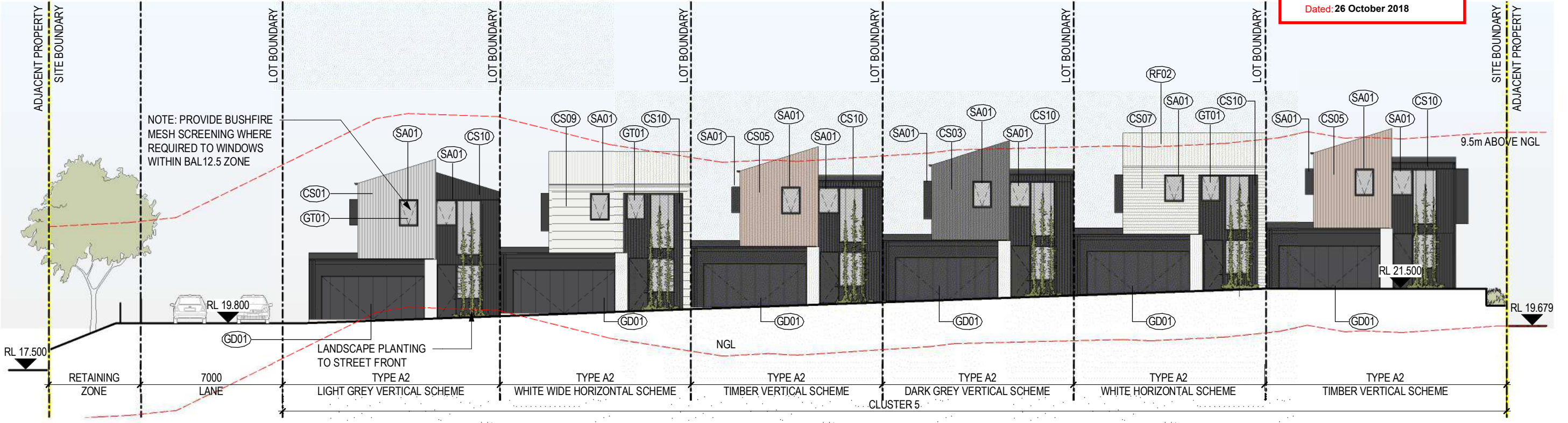
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PLANS AND DOCUMENTS referred to in the APPROVAL  
Dated: 26 October 2018



1 Cluster 5 Rear Elevation  
SCALE 1 : 200

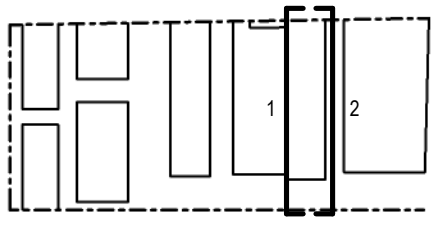
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referred to in the  
**APPROVAL**  
Dated: 26 October 2018



2 Cluster 5 Laneway Elevation  
SCALE 1 : 200

**FOR APPROVAL**

- (AF01) APPLIED FINISH - RENDER DARK
- (CS04) CLADDING TYPE 4 - DARK GREY HORIZONTAL
- (CS09) CLADDING TYPE 9 - WHITE WIDE HORIZONTAL
- (RF02) ROOF SHEETING - LIGHT FINISH
- (AF02) APPLIED FINISH - RENDER GREY
- (CS05) CLADDING TYPE 5 - TIMBER LOOK VERTICAL
- (CS10) CLADDING TYPE 10 - DARK VERTICAL
- (SA01) SUN AWNING TYPE 1 - DARK
- (CS01) CLADDING TYPE 1 - LIGHT GREY VERTICAL
- (CS06) CLADDING TYPE 6 - TIMBER LOOK HORIZONTAL
- (GD01) GARAGE DOOR - DARK
- (BA01) BALUSTRADE TYPE 1 - METAL VERTICAL
- (CS02) CLADDING TYPE 2 - LIGHT GREY HORIZONTAL
- (CS07) CLADDING TYPE 7 - WHITE HORIZONTAL
- (GT01) GLASS TYPE 1 - TINTED
- (BA02) BALUSTRADE TYPE 2 - GLASS
- (CS03) CLADDING TYPE 3 - DARK GREY VERTICAL
- (CS08) CLADDING TYPE 8 - WHITE VERTICAL
- (RF01) ROOF SHEETING - DARK FINISH



Revisions

-	14.07.17	DEVELOPMENT APPLICATION	JF
A	09.03.18	RFI RESPONSE	JF
B	14.09.18	FURTHER ISSUES RESPONSE 3	JF

Project / **378 Manly Road, Manly West**

Drawing / **Cluster Elevations - Sheet 5**

Project No / **217068** Date / **07.07.16**

Author / **JF/CZ** Scale: @ A3 / **1 : 200**

Drawing No. / **TP02.05 B**

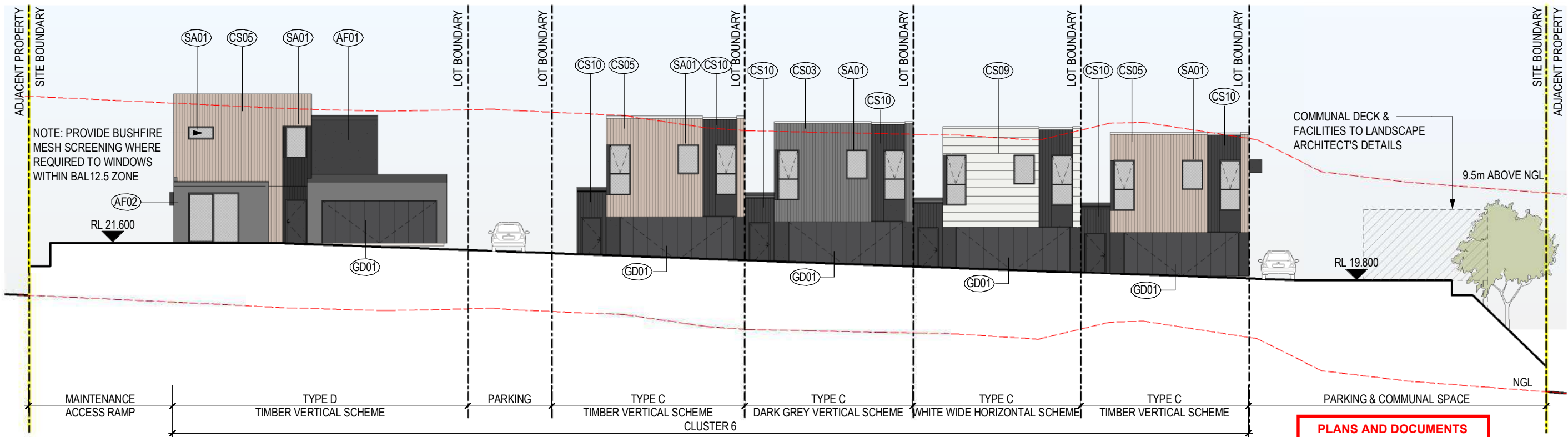
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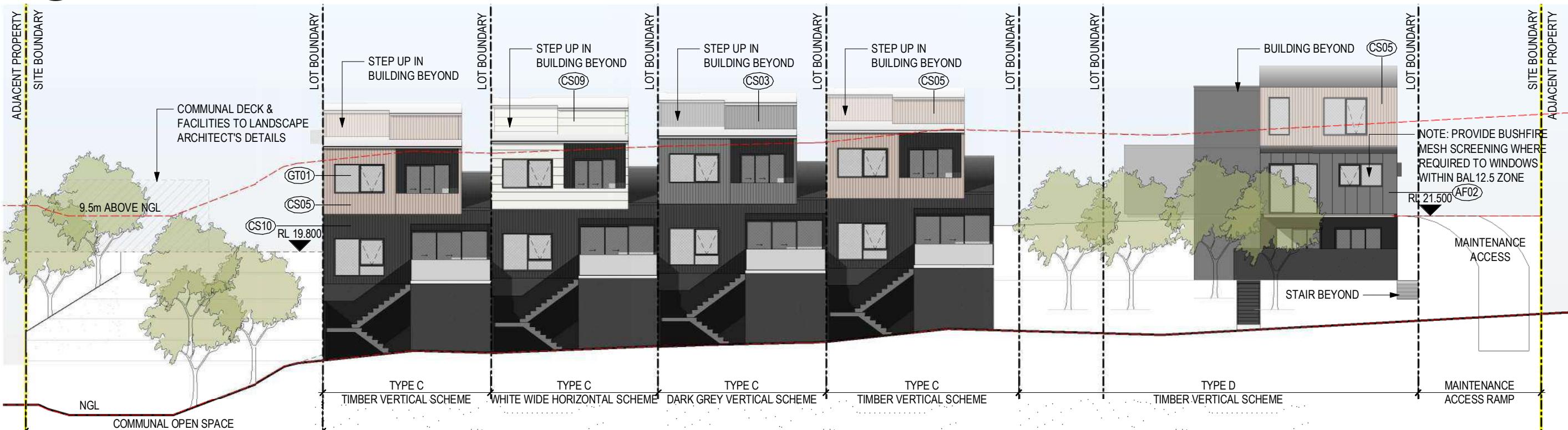
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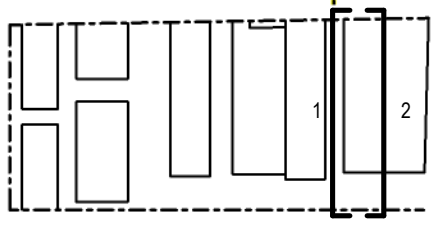
**PLANS AND DOCUMENTS**  
referred to in the  
**APPROVAL**  
Dated: 26 October 2018

**1 Cluster 6 Laneway Elevation**  
SCALE 1 : 200



**2 Cluster 6 Rear Elevation**  
SCALE 1 : 200

- (AF01) APPLIED FINISH - RENDER DARK
- (AF02) APPLIED FINISH - RENDER GREY
- (CS01) CLADDING TYPE 1 - LIGHT GREY VERTICAL
- (CS02) CLADDING TYPE 2 - LIGHT GREY HORIZONTAL
- (CS03) CLADDING TYPE 3 - DARK GREY VERTICAL
- (CS04) CLADDING TYPE 4 - DARK GREY HORIZONTAL
- (CS05) CLADDING TYPE 5 - TIMBER LOOK VERTICAL
- (CS06) CLADDING TYPE 6 - TIMBER LOOK HORIZONTAL
- (CS07) CLADDING TYPE 7 - WHITE HORIZONTAL
- (CS08) CLADDING TYPE 8 - WHITE VERTICAL
- (CS09) CLADDING TYPE 9 - WHITE WIDE HORIZONTAL
- (CS10) CLADDING TYPE 10 - DARK VERTICAL
- (GD01) GARAGE DOOR - DARK
- (GT01) GLASS TYPE 1 - TINTED
- (RF01) ROOF SHEETING - DARK FINISH
- (RF02) ROOF SHEETING - LIGHT FINISH
- (SA01) SUN AWNING TYPE 1 - DARK
- (BA01) BALUSTRADE TYPE 1 - METAL VERTICAL
- (BA02) BALUSTRADE TYPE 2 - GLASS



**FOR APPROVAL**

Revisions		Project	Drawing
-	14.07.17	DEVELOPMENT APPLICATION	JF
A	09.03.18	RFI RESPONSE	JF
B	14.09.18	FURTHER ISSUES RESPONSE 3	JF

Project **378 Manly Road, Manly West**

Drawing **Cluster Elevations - Sheet 6**

Project No **217068** Date **07.07.16** Author **JF/CZ** Scale: @ A3 **1 : 200**

Drawing No: **TP02.06 B**

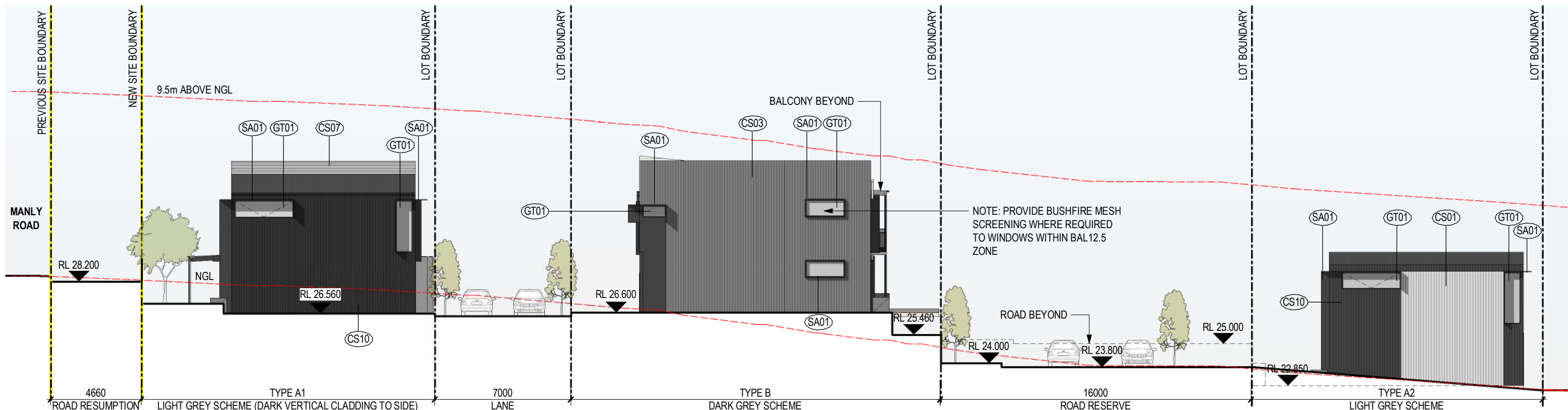
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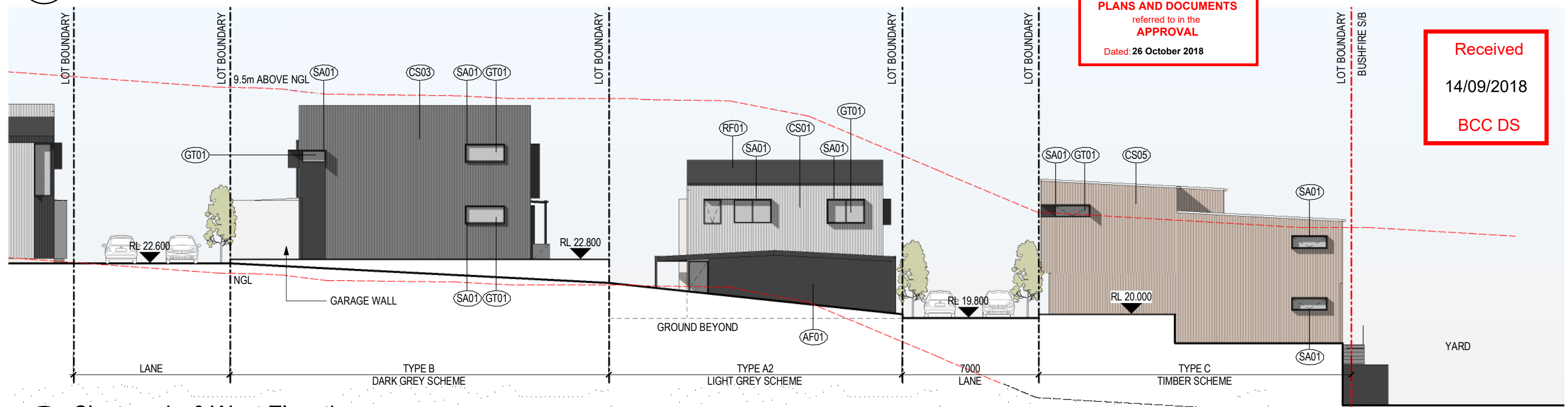
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1 Clusters 1-3 West Elevation  
SCALE 1 : 200



2 Clusters 4 - 6 West Elevation  
SCALE 1 : 200

- (AF01) APPLIED FINISH - RENDER DARK
- (AF02) APPLIED FINISH - RENDER GREY
- (CS01) CLADDING TYPE 1 - LIGHT GREY VERTICAL
- (CS02) CLADDING TYPE 2 - LIGHT GREY HORIZONTAL
- (CS03) CLADDING TYPE 3 - DARK GREY VERTICAL
- (CS04) CLADDING TYPE 4 - DARK GREY HORIZONTAL
- (CS05) CLADDING TYPE 5 - TIMBER LOOK VERTICAL
- (CS06) CLADDING TYPE 6 - TIMBER LOOK HORIZONTAL
- (CS07) CLADDING TYPE 7 - WHITE HORIZONTAL
- (CS08) CLADDING TYPE 8 - WHITE VERTICAL
- (CS09) CLADDING TYPE 9 - WHITE WIDE HORIZONTAL
- (CS10) CLADDING TYPE 10 - DARK VERTICAL
- (GD01) GARAGE DOOR - DARK
- (GT01) GLASS TYPE 1 - TINTED
- (RF01) ROOF SHEETING - DARK FINISH
- (RF02) ROOF SHEETING - LIGHT FINISH
- (SA01) SUN AWNING TYPE 1 - DARK
- (BA01) BALUSTRADE TYPE 1 - METAL VERTICAL
- (BA02) BALUSTRADE TYPE 2 - GLASS

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**PLANS AND DOCUMENTS**  
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Dated: 26 October 2018

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Revisions	Date	Description	Author
-	09.03.18	RFI RESPONSE	JF
A	17.08.18	FURTHER ISSUES RESPONSE 2	JF
B	14.09.18	FURTHER ISSUES RESPONSE 3	JF

Project **378 Manly Road, Manly West**

Drawing **Cluster Elevations - Sheet 7**

Project No **217068** Date **16.01.18** Author **CZ** Scale: @ A3 **1 : 200** Drawing No: **TP02.07 B**

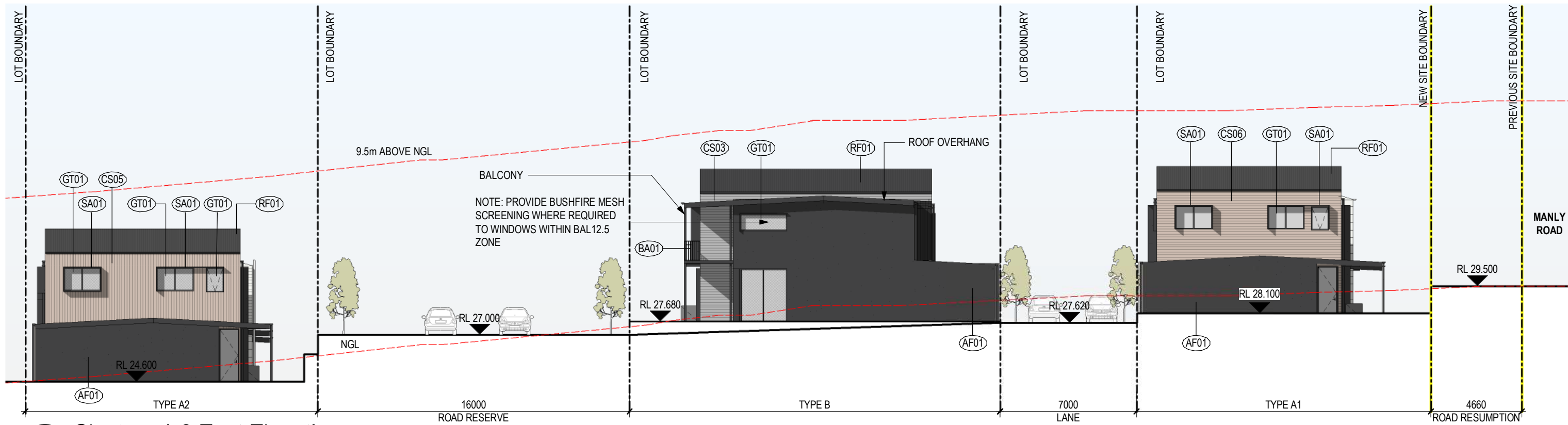
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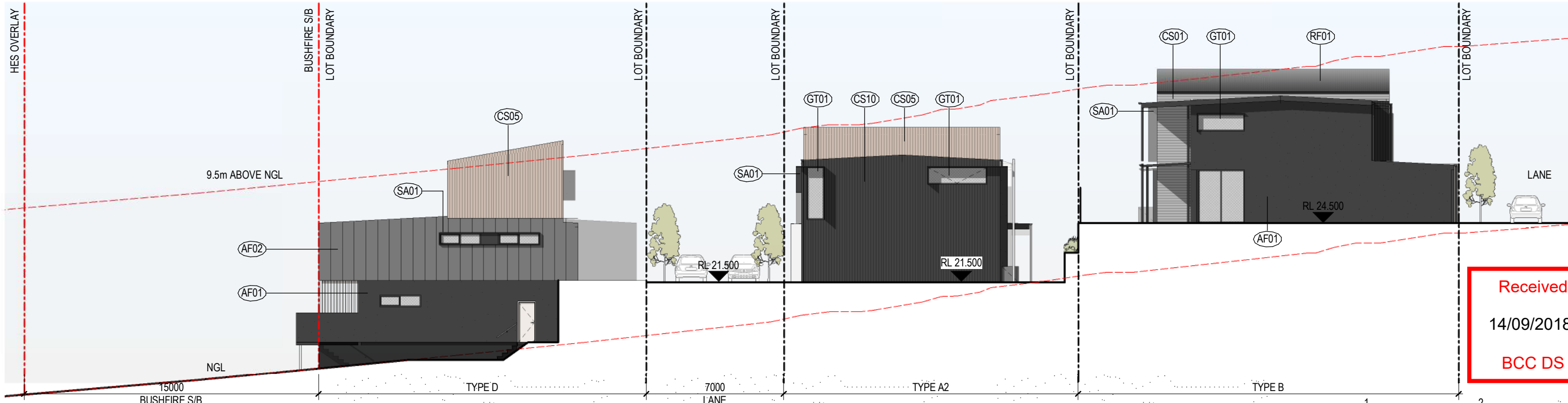
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1 Clusters 1-3 East Elevation  
SCALE 1 : 200



2 Clusters 4-6 East Elevation  
SCALE 1 : 200

- (AF01) APPLIED FINISH - RENDER DARK
- (AF02) APPLIED FINISH - RENDER GREY
- (CS01) CLADDING TYPE 1 - LIGHT GREY VERTICAL
- (CS02) CLADDING TYPE 2 - LIGHT GREY HORIZONTAL
- (CS03) CLADDING TYPE 3 - DARK GREY VERTICAL
- (CS04) CLADDING TYPE 4 - DARK GREY HORIZONTAL
- (CS05) CLADDING TYPE 5 - TIMBER LOOK VERTICAL
- (CS06) CLADDING TYPE 6 - TIMBER LOOK HORIZONTAL
- (CS07) CLADDING TYPE 7 - WHITE HORIZONTAL
- (CS08) CLADDING TYPE 8 - WHITE VERTICAL
- (CS09) CLADDING TYPE 9 - WHITE WIDE HORIZONTAL
- (CS10) CLADDING TYPE 10 - DARK VERTICAL
- (GD01) GARAGE DOOR - DARK
- (GT01) GLASS TYPE 1 - TINTED
- (RF01) ROOF SHEETING - DARK FINISH
- (RF02) ROOF SHEETING - LIGHT FINISH
- (SA01) SUN AWNING TYPE 1 - DARK
- (BA01) BALUSTRADE TYPE 1 - METAL VERTICAL
- (BA02) BALUSTRADE TYPE 2 - GLASS

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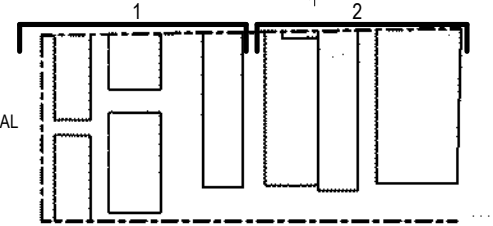
Revisions	Date	Description	Author
-	09.03.18	RFI RESPONSE	JF
A	17.08.18	FURTHER ISSUES RESPONSE 2	JF
B	14.09.18	FURTHER ISSUES RESPONSE 3	JF

Project / **378 Manly Road, Manly West**

Drawing / **Cluster Elevations - Sheet 8**

Project No / **217068** Date / **16.01.18** Author / **CZ**

Scale: @ A3 / **1 : 200** Drawing No: / **TP02.08 B**

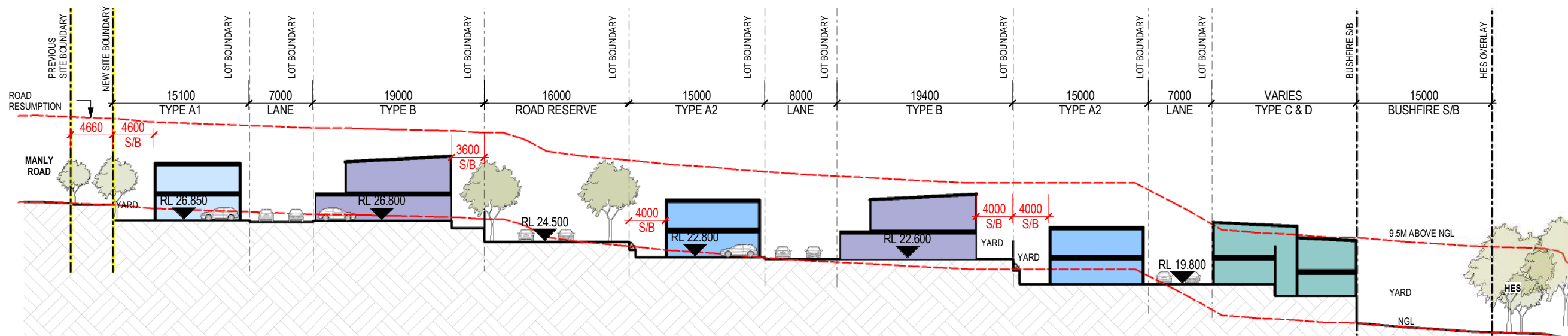


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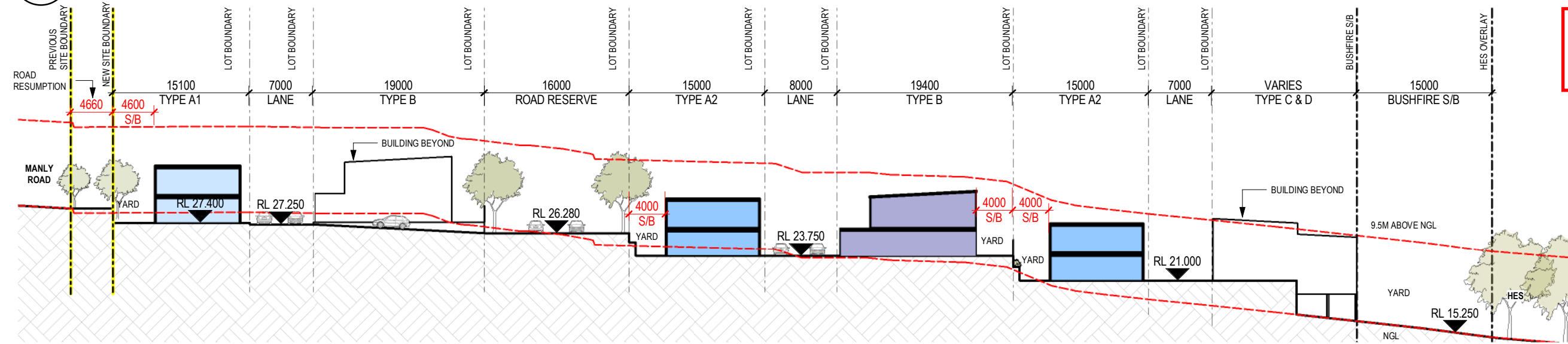
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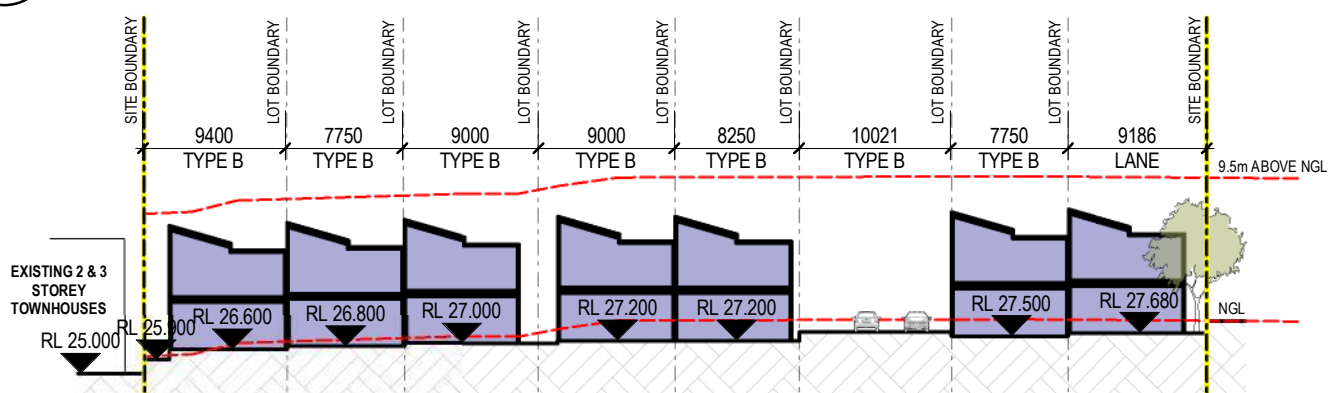
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A Site Section A  
SCALE 1 : 500

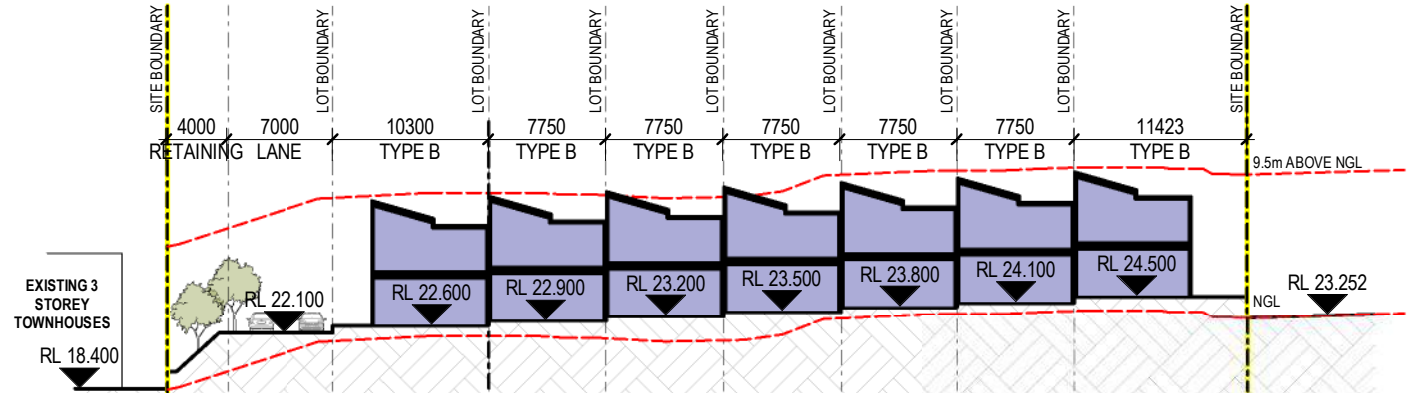


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**APPROVAL**  
Dated: 26 October 2018

B Site Section B  
SCALE 1 : 500



C Site Section C  
SCALE 1 : 500



D Site Section D  
SCALE 1 : 500

**FOR APPROVAL**

Revisions	Date	Description	Author
-	14.07.17	DEVELOPMENT APPLICATION	JF
A	09.03.18	RFI RESPONSE	JF
B	17.08.18	FURTHER ISSUES RESPONSE 2	JF
C	14.09.18	FURTHER ISSUES RESPONSE 3	JF

Project / **378 Manly Road, Manly West**

Drawing / **Site Sections**

Project No / **217068**

Date / **07.07.16**

Author / **JF/CZ**

Scale: @ A3 / **1 : 500**

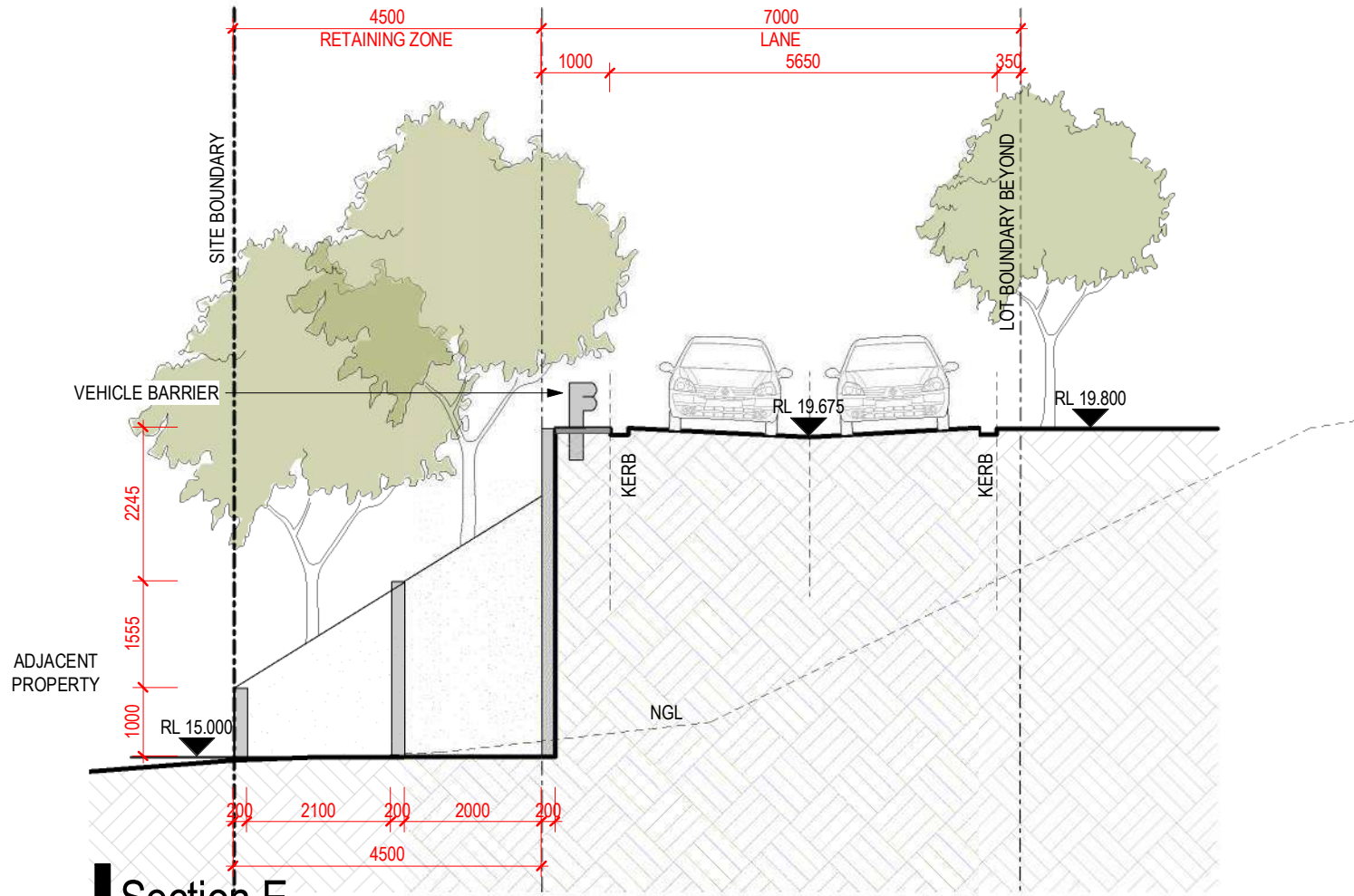
Drawing No. / **TP03.01 C**



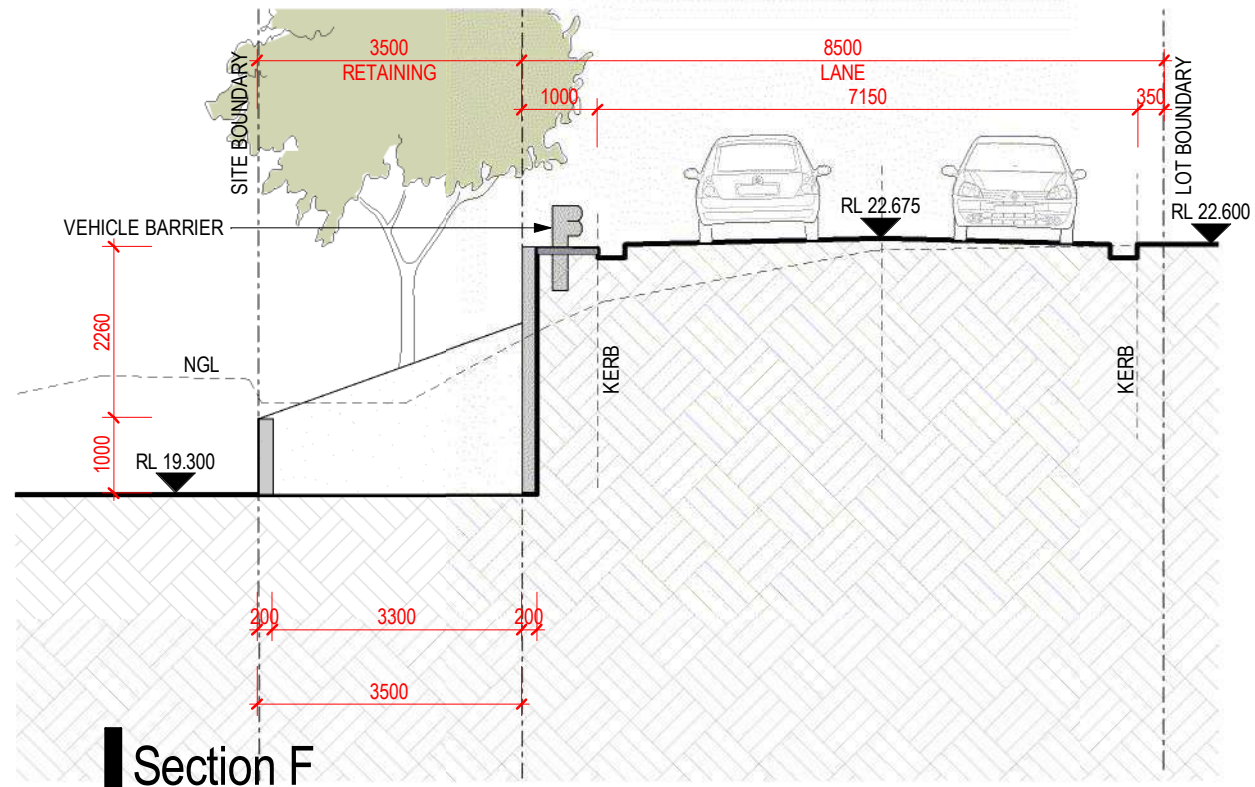
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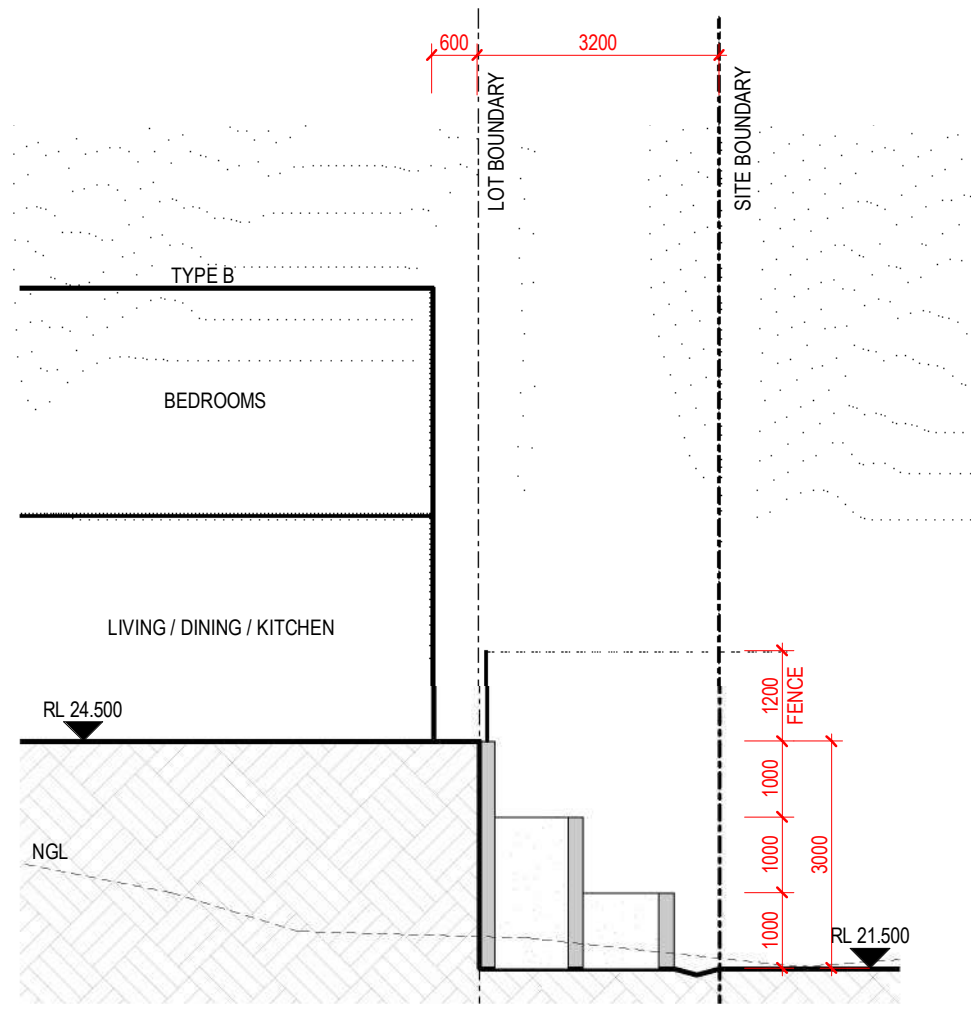
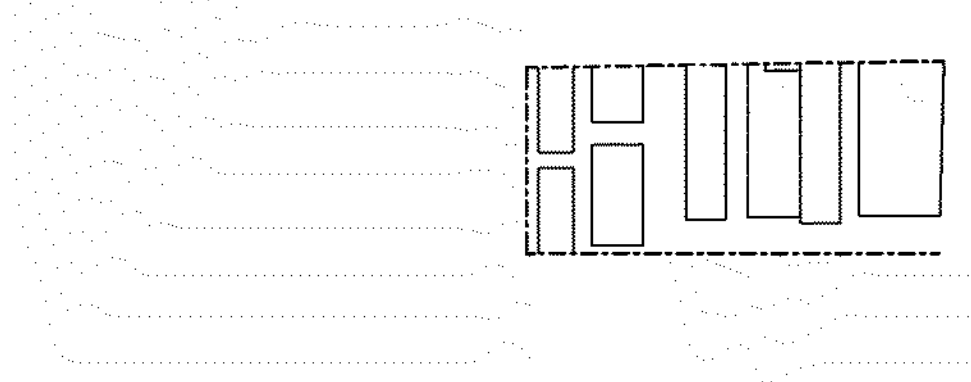


Section E



Section F

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Section G

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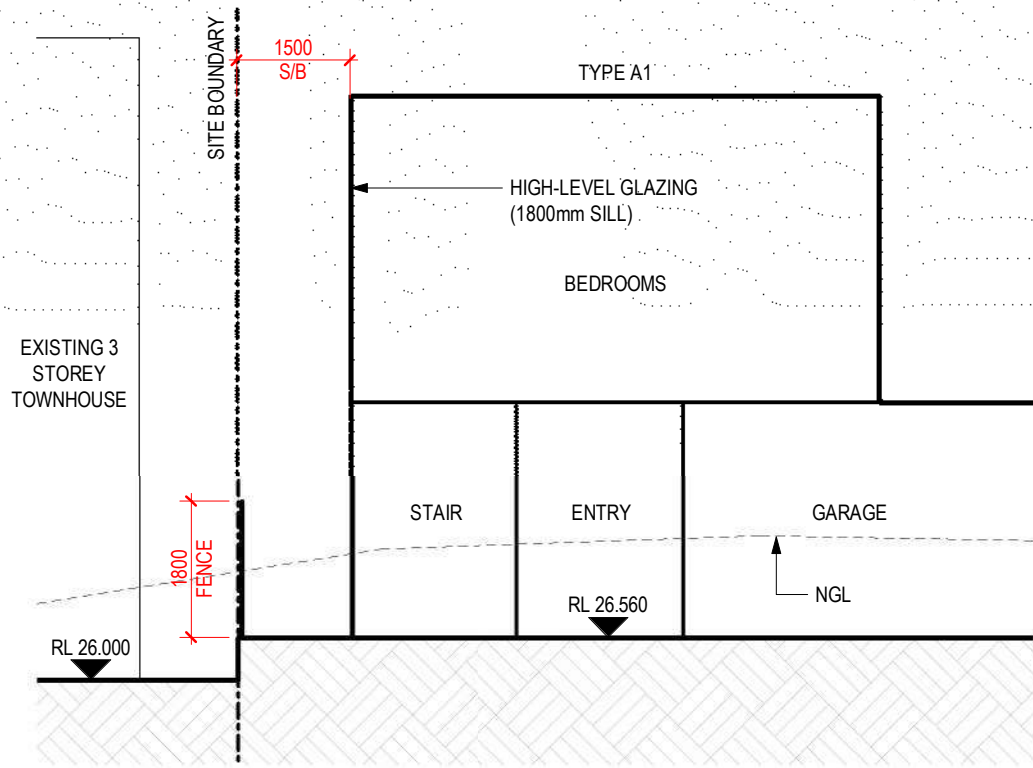
Revisions / - 09.03.18 RFI RESPONSE JF  
A 14.09.18 FURTHER ISSUES RESPONSE 3 JF  
Project / 378 Manly Road, Manly West  
Drawing / Site Sectional Studies  
Project No / 217068 Date / 16.05.17 Author / JF

Scale: @ A3 As indicated Drawing No: TP03.02 A

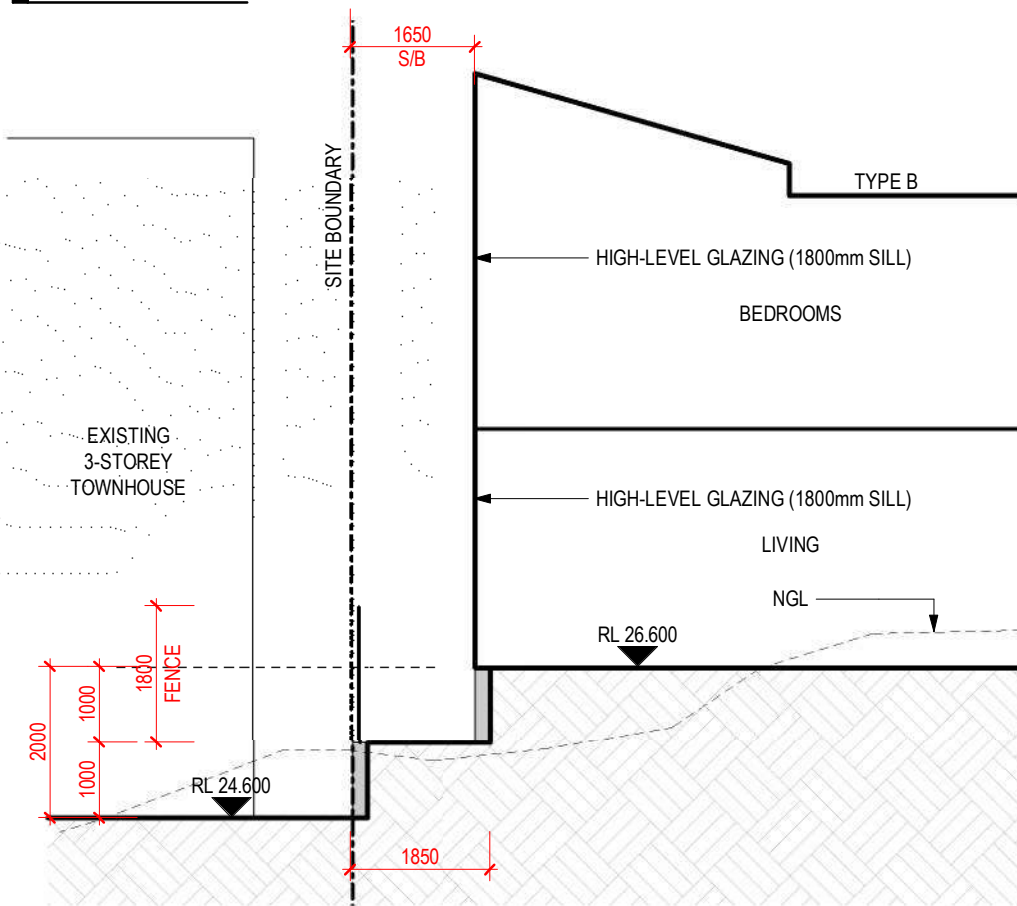
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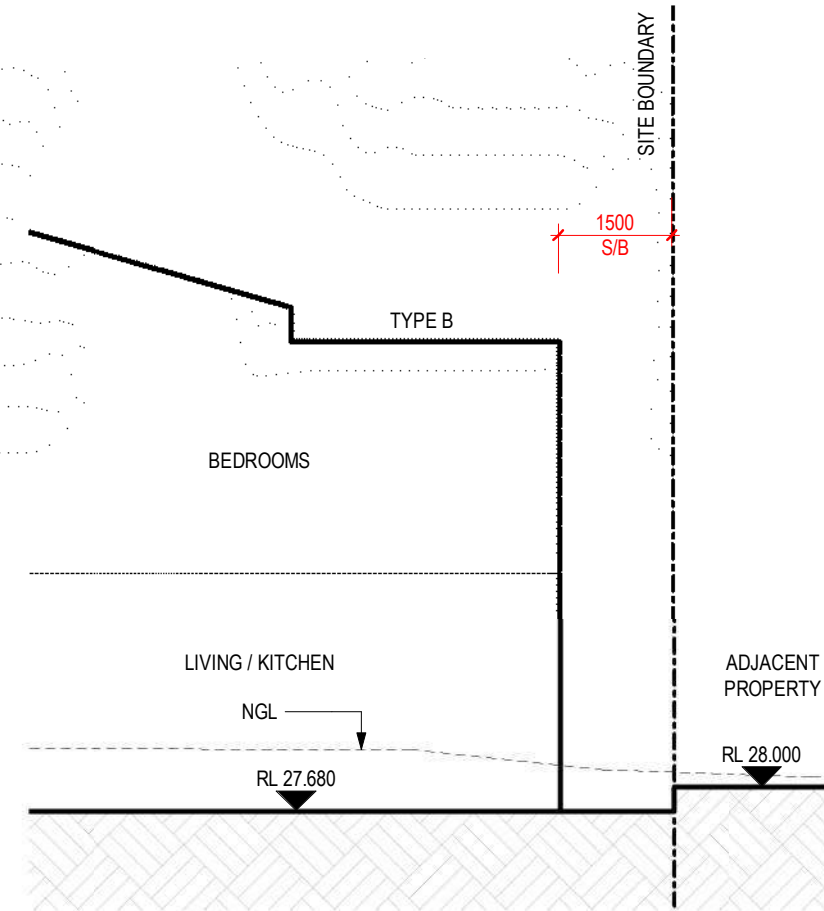
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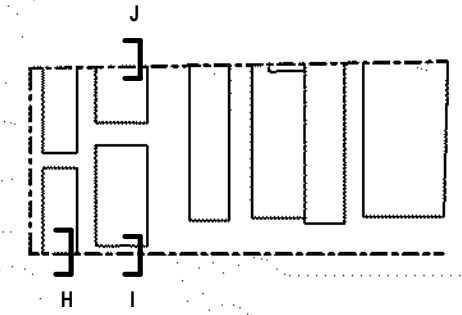
Section H



Section I



Section J



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Dated: 26 October 2018

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Revisions /  
- 17.08.18 FURTHER ISSUES RESPONSE 2 JF  
A 14.09.18 FURTHER ISSUES RESPONSE 3 JF

Project / **378 Manly Road, Manly West**  
Drawing / **Site Sectional Studies**

Project No / **217068** Date / **16.08.18** Author / **CZ**

Scale: @ A3 / **As indicated** Drawing No: **TP03.03 A**

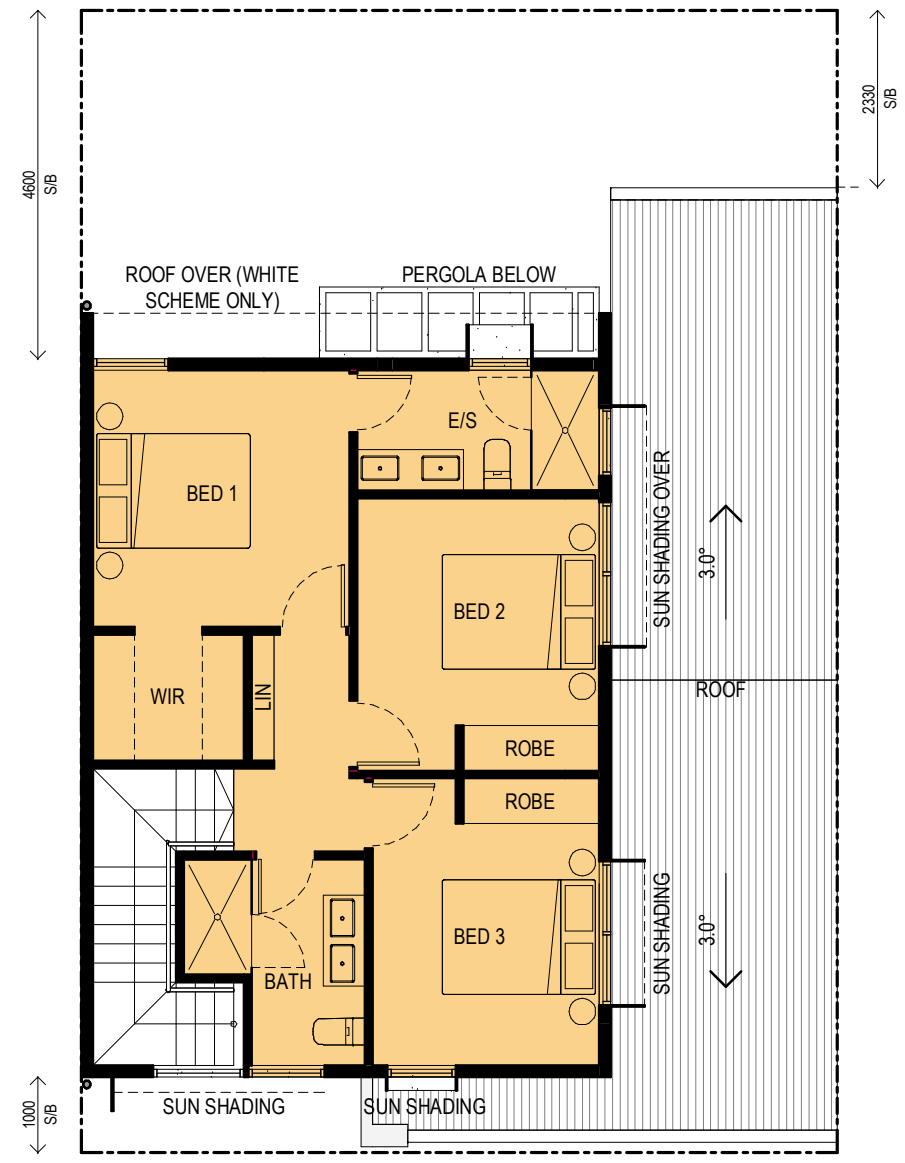
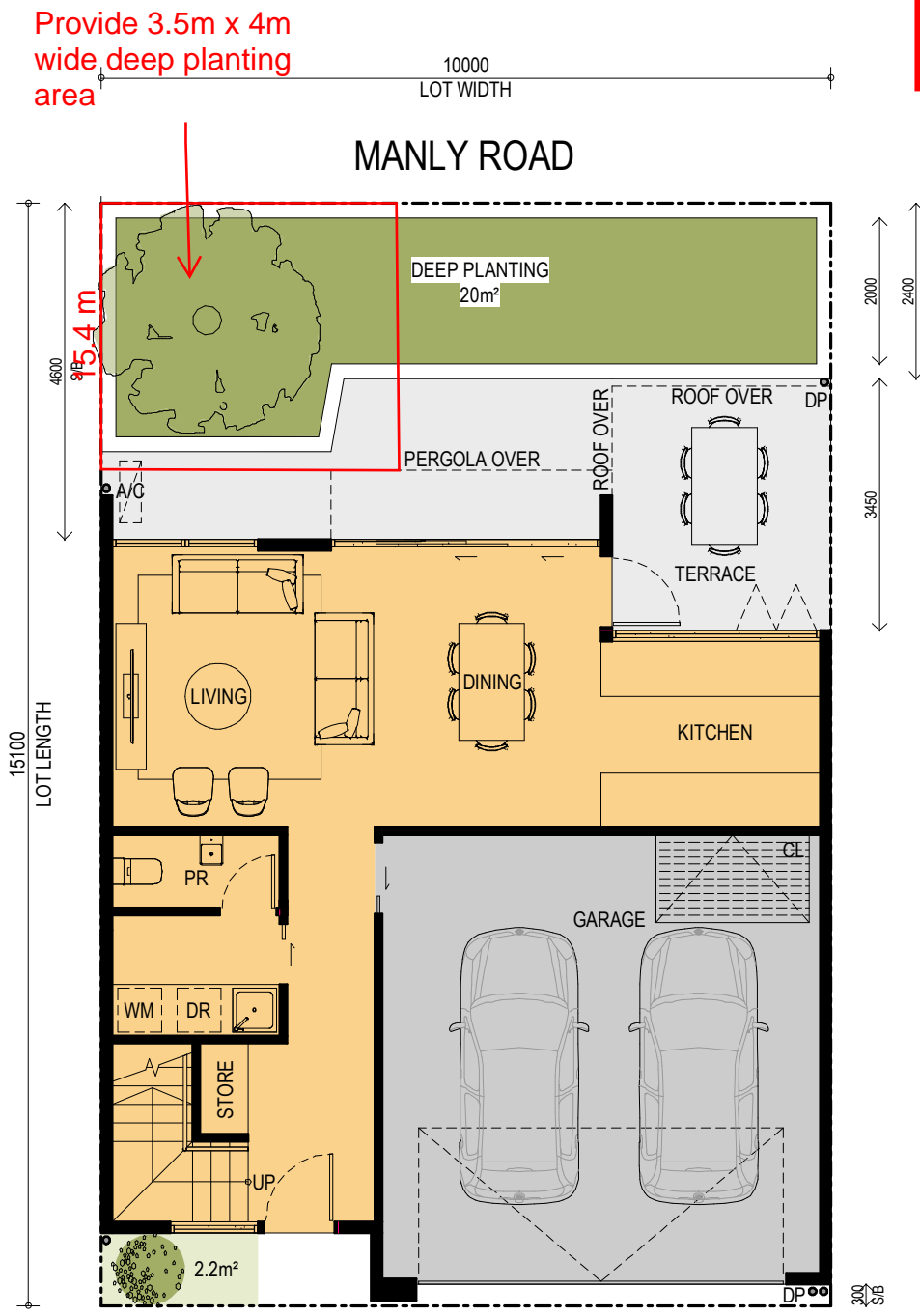
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**AMENDED IN RED**  
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**PLANS AND DOCUMENTS**  
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Dated: 26 October 2018

- LEGEND**
- LDY Laundry
  - PR Powder
  - LIN Linen
  - E/S Ensuite
  - WIR Walk-in Robe

AREA SCHEDULE	
GROUND FLOOR	57 m <sup>2</sup>
LEVEL 1	59 m <sup>2</sup>
<b>TOTAL</b>	<b>116 m<sup>2</sup></b>
GARAGE	39 m <sup>2</sup>
<b>TOTAL</b>	<b>155 m<sup>2</sup></b>
TERRACE GROUND	13 m <sup>2</sup>
YARD	32 m <sup>2</sup>
<b>TOTAL POS</b>	<b>45 m<sup>2</sup></b>

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**GROUND** LANE

**LEVEL 1**

**FOR APPROVAL**

Revisions	- 09.03.18	RFI RESPONSE	JF
	A 14.08.18	CONSULTANT ISSUE	JF
	B 17.08.18	FURTHER ISSUES RESPONSE 2	JF
	C 14.09.18	FURTHER ISSUES RESPONSE 3	JF

Project **378 Manly Rd, Manly West, Qld**

Drawing **Type A1 - Floor Plans**

Project No **217068** Date **16.01.18**

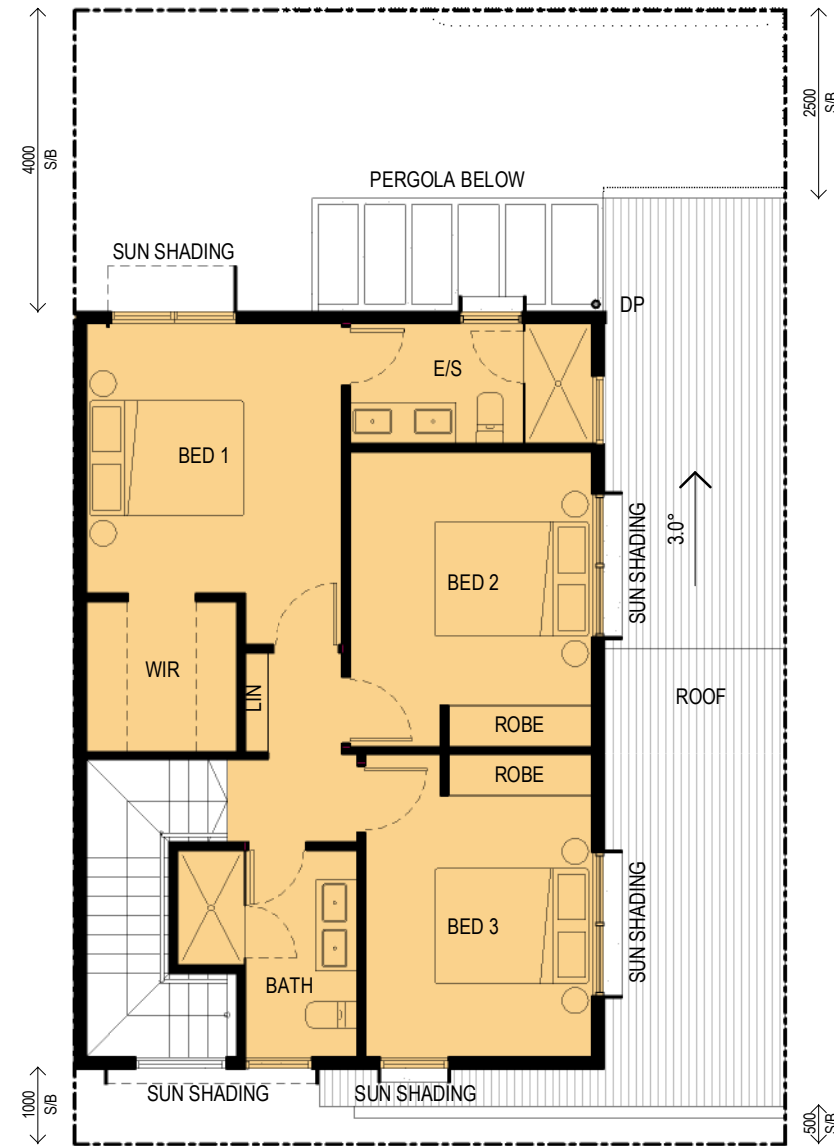
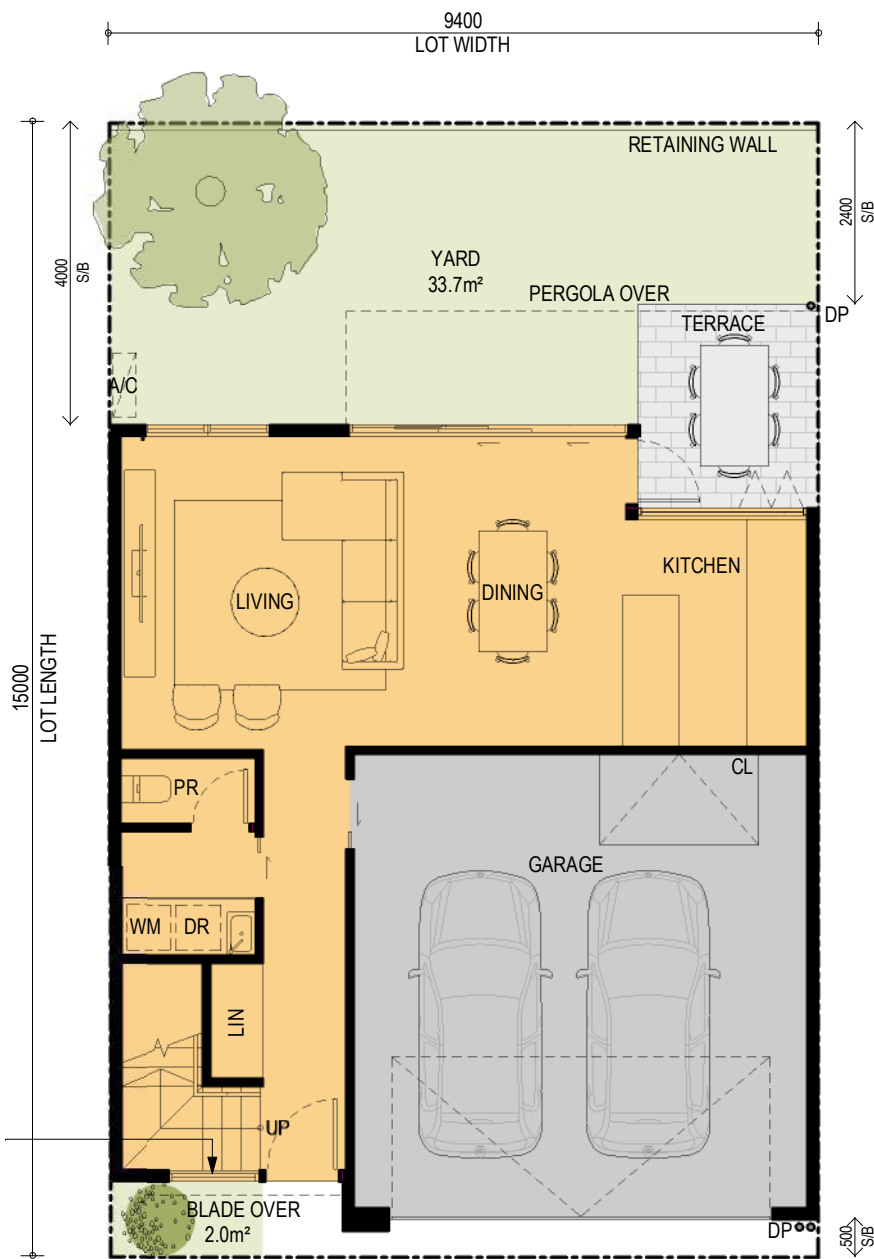
Author **CZ/JF** Scale: @ A3 **1 : 100**

Drawing No. **TP04.01 C**

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NOTE: PROVIDE BUSHFIRE MESH SCREENING TO WINDOWS WITHIN BAL12.5 ZONE - REFER BUSHFIRE CONSULTANT ADVICE

LANE

GROUND

LEVEL 1

**PLANS AND DOCUMENTS**  
referred to in the  
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Dated: 26 October 2018

- LEGEND**
- LDY Laundry
  - PR Powder
  - LIN Linen
  - E/S Ensuite
  - WIR Walk-in Robe

**AREA SCHEDULE**

GROUND FLOOR	56 m <sup>2</sup>
LEVEL 1	63 m <sup>2</sup>
<b>TOTAL</b>	<b>119 m<sup>2</sup></b>
GARAGE	38 m <sup>2</sup>
<b>TOTAL</b>	<b>157 m<sup>2</sup></b>
TERRACE GROUND	6 m <sup>2</sup>
YARD	34 m <sup>2</sup>
<b>TOTAL POS</b>	<b>40 m<sup>2</sup></b>

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**FOR APPROVAL**

Revisions / 09.03.18 RFI RESPONSE JF

Project / 378 Manly Rd, Manly West, Qld

Drawing / Type A2 - Floor Plans

Project No / 217068 Date / 29.01.18 Author / CZ

Scale: @ A3 / 1 : 100 Drawing No: / TP04.02 -

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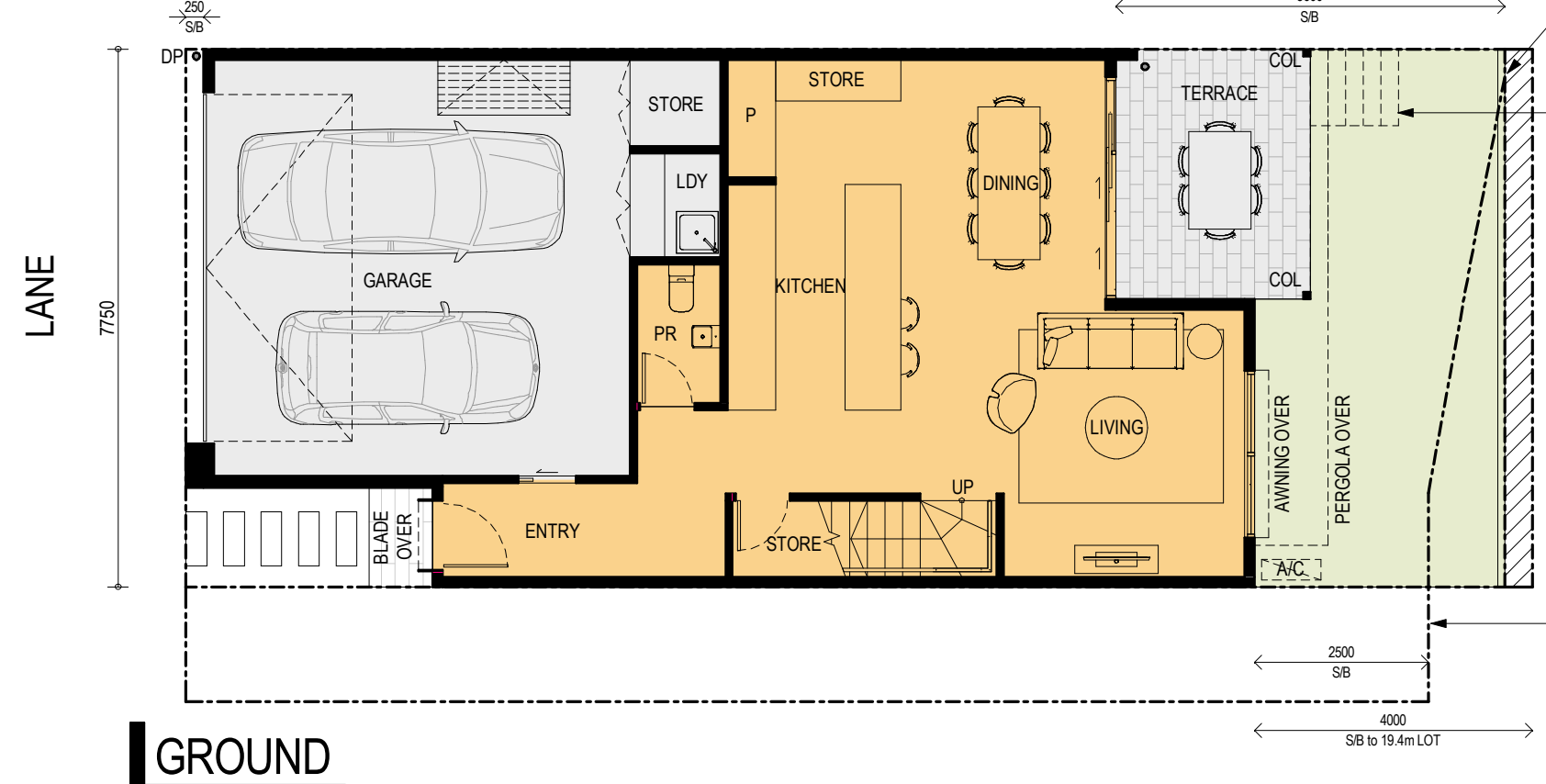
NOTE: PROVIDE BUSHFIRE MESH SCREENING TO WINDOWS WITHIN BAL12.5 ZONE - REFER BUSHFIRE CONSULTANT ADVICE

PERGOLA STRUCTURE BELOW



**PLANS AND DOCUMENTS**  
referred to in the  
**APPROVAL**  
Dated: 26 October 2018

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NOTE: CLUSTER 4 ADDITIONAL YARD DEPTH (19.4m LOT).

NOTE: STAIRS DOWN TO YARD OF CLUSTER 2

**LEGEND**  
LDY Laundry  
PR Powder  
LIN Linen  
E/S Ensuite  
WIR Walk-in Robe

AREA SCHEDULE	
GROUND FLOOR	63 m <sup>2</sup>
LEVEL 1	79 m <sup>2</sup>
<b>TOTAL</b>	<b>142 m<sup>2</sup></b>
GARAGE	43 m <sup>2</sup>
<b>TOTAL</b>	<b>185 m<sup>2</sup></b>
YARD	25 m <sup>2</sup>
TERRACE GROUND	10 m <sup>2</sup>
<b>TOTAL POS (CL 2)</b>	<b>35 m<sup>2</sup></b>
<b>TOTAL POS (CL 4)</b>	<b>38 m<sup>2</sup></b>

**FOR APPROVAL**

Revisions	Date	Description	Author
-	14.07.17	DEVELOPMENT APPLICATION	JF
A	09.03.18	RFI RESPONSE	JF
B	17.08.18	FURTHER ISSUES RESPONSE 2	JF
C	14.09.18	FURTHER ISSUES RESPONSE 3	JF

Project **378 Manly Rd, Manly West, Qld**

Drawing **Type B - Floor Plans**

Project No **217068** Date **16.06.17**

Author **CZ/JF** Scale: @ A3 **1 : 100**

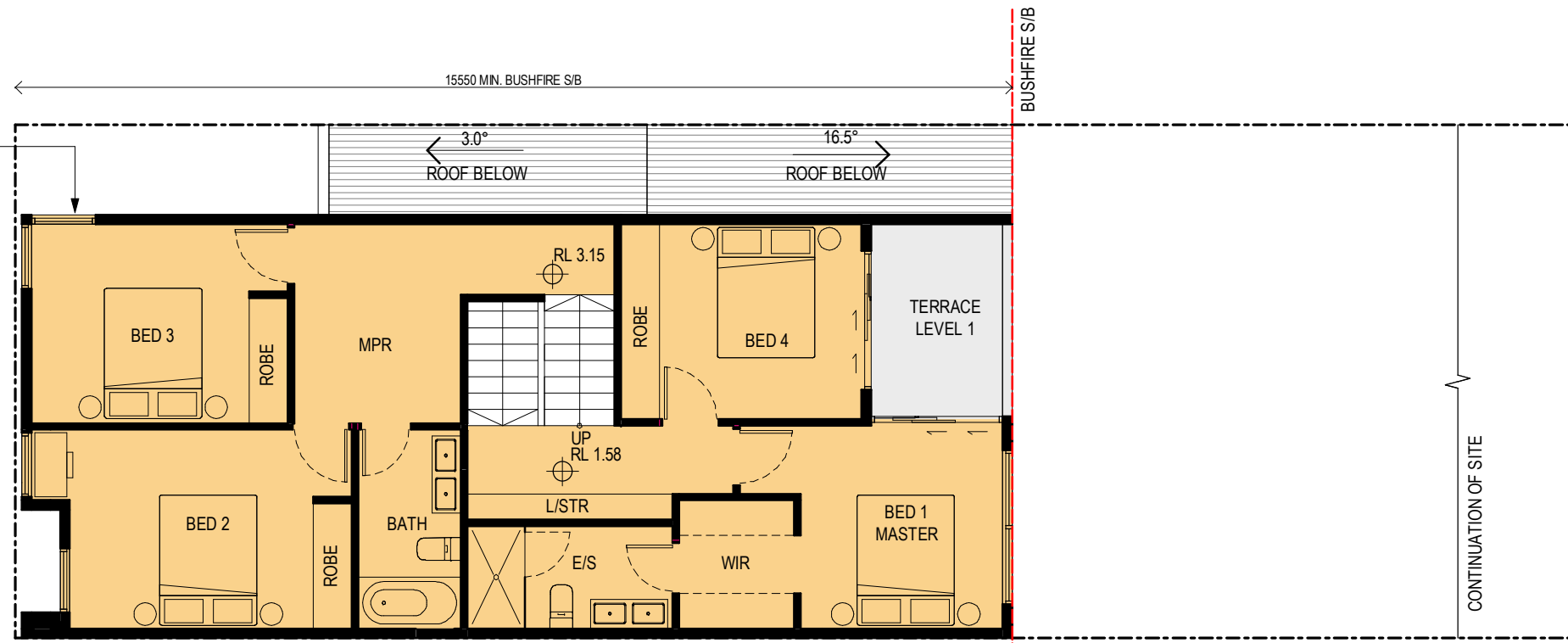
Drawing No. **TP04.03 C**

**rothelowman**

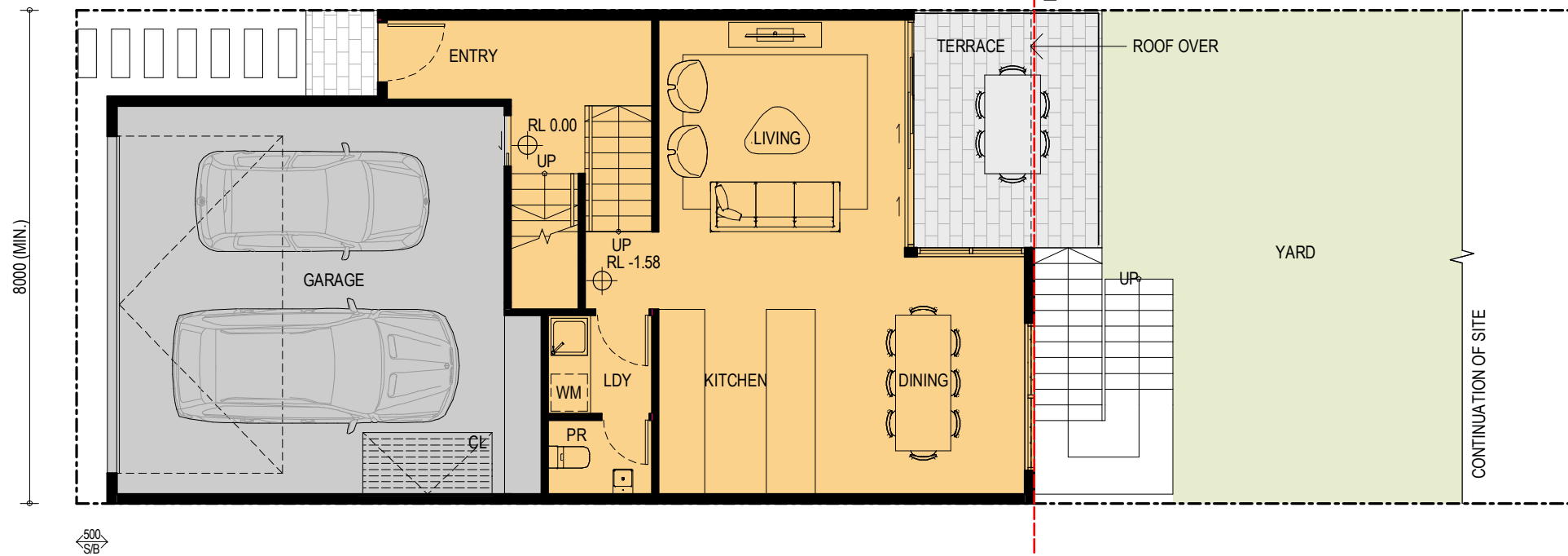
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NOTE: PROVIDE BUSHFIRE MESH SCREENING TO WINDOWS WITHIN BAL 12.5 ZONE - REFER BUSHFIRE CONSULTANT ADVICE



### LEVEL 1 (SPLIT LEVEL)



### GROUND & LOWER GROUND

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**APPROVAL**  
Dated: 26 October 2018

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- LEGEND**
- LDY Laundry
  - PR Powder
  - LIN Linen
  - E/S Ensuite
  - WIR Walk-in Robe

AREA SCHEDULE	
LOWER GROUND	52 m <sup>2</sup>
GROUND	11 m <sup>2</sup>
LEVEL 1 UPPER	41 m <sup>2</sup>
LEVEL 1 LOWER	48 m <sup>2</sup>
<b>TOTAL</b>	<b>152 m<sup>2</sup></b>
GARAGE	45 m <sup>2</sup>
<b>TOTAL</b>	<b>197 m<sup>2</sup></b>
TERRACE	12 m <sup>2</sup>
TERRACE LEVEL 1	7 m <sup>2</sup>
YARD	VARIES

**FOR APPROVAL**

Revisions /  
- 14.07.17 DEVELOPMENT APPLICATION JF  
A 09.03.18 RFI RESPONSE JF  
B 14.09.18 FURTHER ISSUES RESPONSE 3 JF

Project / **378 Manly Road, Manly West**

Drawing / **Type C - Floor Plans**

Project No / **217068** Date / **16.06.17**

Author / **CZ/JF** Scale: @ A3 / **1 : 100**

Drawing No. / **TP04.04 B**

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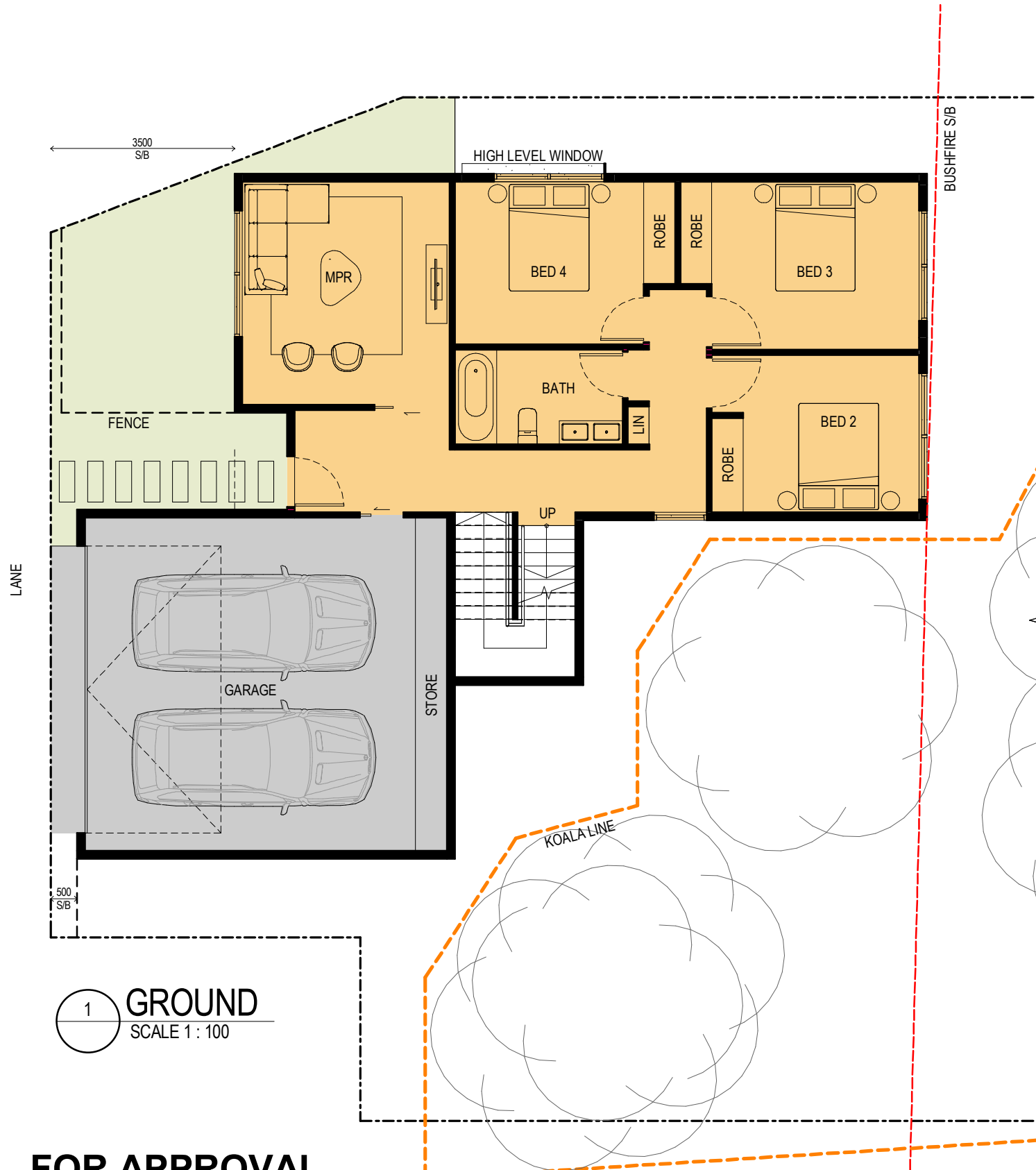
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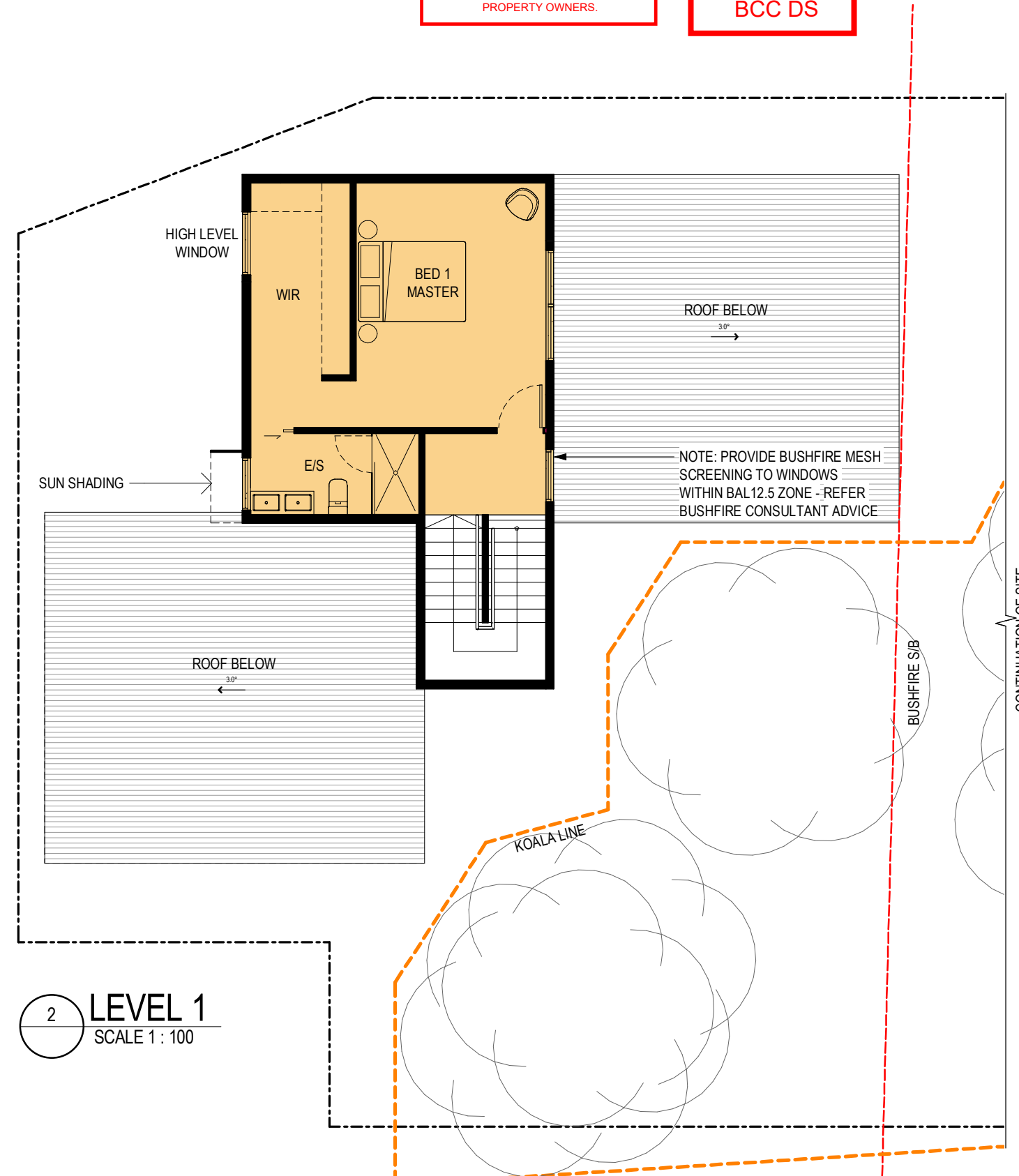
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referred to in the  
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Dated: 26 October 2018

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1 GROUND  
SCALE 1 : 100



2 LEVEL 1  
SCALE 1 : 100

**FOR APPROVAL**

Revisions /  
- 09.03.18 RFI RESPONSE JF  
A 14.09.18 FURTHER ISSUES RESPONSE 3 JF

Project / **378 Manly Road, Manly West**

Drawing / **Type D - Floor Plans - Ground & Level 1**

Project No / **217068**

Date / **01.03.18**

Author / **CZ**

Scale: @ A3 / **1 : 100**

Drawing No. / **TP04.06 A**

**rothelowman**

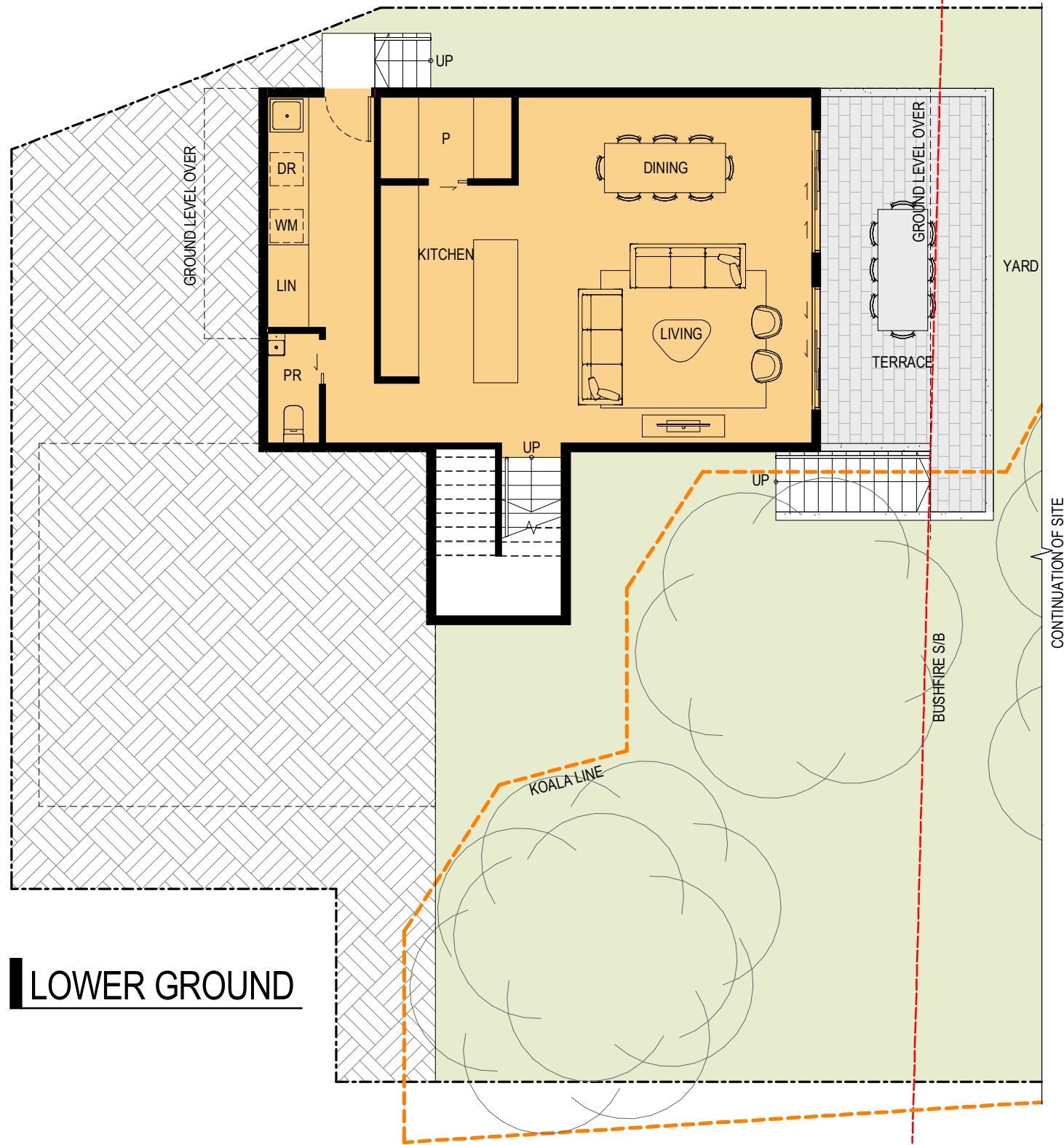
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PLANS AND DOCUMENTS referred to in the APPROVAL  
Dated: 26 October 2018



**LEGEND**

LDY	Laundry
PR	Powder
LIN	Linen
E/S	Ensuite
WIR	Walk-in Robe

**AREA SCHEDULE**

LOWER GROUND INTERNAL	67 m <sup>2</sup>
GROUND INTERNAL	85 m <sup>2</sup>
LEVEL 1	39 m <sup>2</sup>
<b>TOTAL</b>	<b>191 m<sup>2</sup></b>
GARAGE	47 m <sup>2</sup>
<b>TOTAL</b>	<b>238 m<sup>2</sup></b>
TERRACE	22 m <sup>2</sup>

**FOR APPROVAL**

Revisions

-	14.07.17	DEVELOPMENT APPLICATION	JF
A	09.03.18	RFI RESPONSE	JF
B	14.09.18	FURTHER ISSUES RESPONSE 3	JF

Project **378 Manly Road, Manly West**

Drawing **Type D - Floor Plan - Lower Ground**

Project No **217068**

Date **16.06.17**

Author **JF**

Scale: @ A3 **1 : 100**

Drawing No. **TP04.05 B**



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